

GENERAL ABBREVIATIONS

Table listing general abbreviations such as A/F/F, A.F., ADJ., ARCH., B.A.R., B.B., BD, BF, BFP, BPS, B/W/C, CBS, C.C.J., CBH, CH, CHB, CH.B.L., C.J., C.M., C.O.H., C.O.M.P., C.O.N.T., C.V., C.W., D.R.L., D.C., D.F., D.W.G., D.S., D.I.S.T., D.I.S.P., E.C.S., E.L.E.V., E.P.W., E.X., E.X.P., E.X.I.S.T., F.B., F.D., F.D.G., F.L.E.X., F.L.R.I.N.G., F.R./R., F.S., F.T.G./S, F.V., G.A.L.V., G.B., G.D., G.E.N., H.B., H.D., H.D.C.P., H.C.B., H.O., H.O.R.I.Z., H.V.G.B., I.N.S.U.L., K.P., L., M./M.I.R., M.A.N.I.F., M.A.X., M.E.C.H., M.I.N., M.S., N.W./C, N.O., N.T.S., O.H., O.T.A, P.E.R.(S), P.B., P.T.D./D, P/P, P.R.E.-F.I.N., P.R.E.S.T.R., P.T.L., P.T.U., R.C.B.H., R.E.Q./D, R.C.P., R.E.I.N.F., R.E.F., R.D., R.M., R.W.L., S.C.D., S.C.H./S, S.D., S.H., S.H.F., S.N.D., S.N.V., S.P.D., S.P.E.C.T, S.T.R.U.C.T., S/W, T.B., T.C., T.H.E.R.M, T.M., T.O.B., T.P.D., T.Y.P., U/C, U/S, V.A.P., V.E.R.T., V.F.S., V.G.B., W/, W.B., W.C., W.R., /, % , @ , o/c

MATERIALS ABBREVIATIONS

Table listing materials abbreviations such as AB, A.C.T., A.W.P., A.T., A.L., A.N., A.N.(C), B, B.B., B.P.G., C.A.R., C.B., C.E.M., C.E.T./C.T, C.O.N.C., C.(H), C.(S), C.(P), E.M., E.P., E.T., F, F.T, G.B./G.Y.P. B.D., G.L.B., G.L., G.W.G., G.M., G.M.T., H.M., H.A.R.D.W.O.D., H.D.G., L/C/C, L.I.N.O., L.V.P., L.X.G., M.A.R., M.A.S., M.S., M.E.T.A., M.W., N.A.T., P.B., P.C., P./P.T.D., P.F., P.L.A.M., P.L.Y.W.O.D., P.S.P., P.T., P.O.F., Q.T., R, R.B., R.S.F., S, S.A.F.F., S.C., S.F., S.G., S.S., S.H.L., S.S., S.P.C., S.T., S.T.L., S.V.S., T, T.D.G., T.B.B., T.E.C.T.U.M., T.E.R.R., T.S., T.U.R.F., U, V.C.G.B., V.C.P., V.C.T., V.P.F., V.R., W.D., W.P.

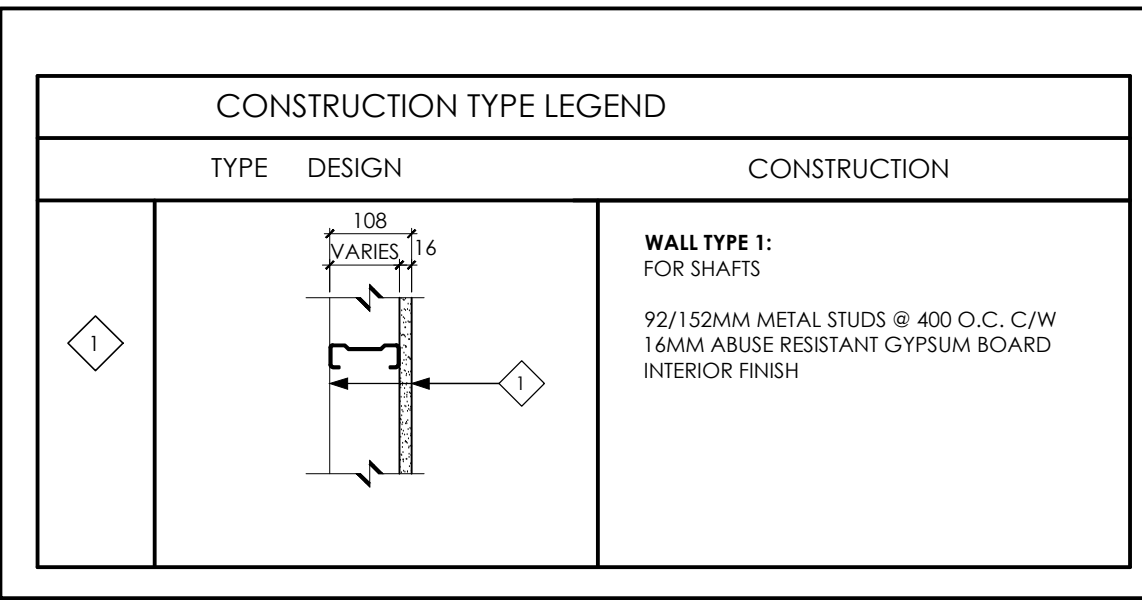
ROOM NAMES

Table listing room names such as CL, CL.R, C.O.M.M, C.O.N.F, C.O.R.R, C.T.R, E.L.E.C, E.L.E.V, E.N.G, E.X, E.X.I.S.T, G.U.I.D, I.N.S.T, L.A.B, P.R.A.C.T, P.R.I.N.C.I.P, R.E.C.E.I.V, R.O.O.M, S.H.W.R, S.T.O.R, V.E.S.T, V.P, W.R

Table containing project details: BUILDING OBC MATRIX, PROJECT DESCRIPTION, PROJECT TYPE, MAJOR OCCUPANCY CLASSIFICATION, BUILDING AREA, BUILDING HEIGHT, EXISTING BUILDING CLASSIFICATION, RENOVATION TYPE, OCCUPANT LOAD, PLUMBING FIXTURES, BARRIER-FREE DESIGN, REDUCTION IN PERFORMANCE LEVEL, COMPENSATING CONSTRUCTION, COMPLIANCE ALTERNATIVES PROPOSED, NON-SPRINKLERED BUILDING, TRAVEL DISTANCE TO EGRESS AND EXIT DOORS, FIRE SEPARATIONS.

2 A0.1 O.B.C. MATRIX

DRAWING LIST ARCHITECTURAL, MECHANICAL, ELECTRICAL. Lists drawing titles and sheet numbers.



- TYPICAL NOTES: ALL PARTITIONS / WALL TYPES SHALL EXTEND FROM FLOOR TO UNDERSIDE OF FLOORS AND ROOF DECK ABOVE UNLESS NOTED OTHERWISE AND FIRE STOP ALL WALLS REQUIRED TO MAINTAIN A FIRE RESISTANCE RATING AS PER THE LIFE SAFETY DRAWINGS OR FILL VOIDS WITH SOUND INSULATION C/W ACOUSTICAL CAULK AT ALL CLASSROOM WALL PERIMETERS (TYP).

ISSUED FOR TENDER APRIL 22 2024

CLIENT: WATERLOO REGION DISTRICT SCHOOL BOARD 51 ALDELT AVENUE KITCHENER, ONTARIO, CANADA N2C 2R5 www.wrdsb.ca

ARCHITECT: +VG ARCHITECTS 50 DALHOUSIE STREET, BRANTFORD, ONTARIO, CANADA N3T 2H8 T: 519.754.1652 www.plusvg.com

CONSULTANTS: MECHANICAL/ELECTRICAL: DEI CONSULTING ENGINEERS 55 NORTHLAND RD, WATERLOO, ONTARIO, CANADA deiasociates.ca

MARGARET AVENUE PUBLIC SCHOOL HVAC UPGRADES 325 Louisa St, Kitchener, ON N2H 5N1

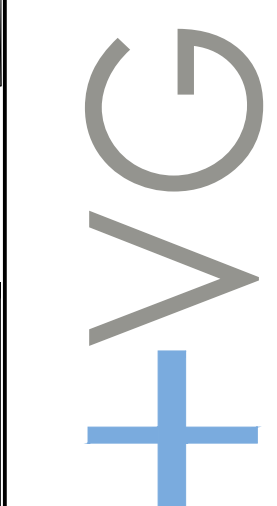
MARGARET AVENUE PUBLIC SCHOOL HVAC UPGRADES. 325 LOUISA STREET, KITCHENER, ONTARIO N2H 5K9 22368

PROJECT NAME: PROJECT LOCATION: PROJECT NUMBER:



ORIGINAL PAGE SIZE ARCH D - 24" x 36"

ARCHITECTS THE VENTIN GROUP LTD

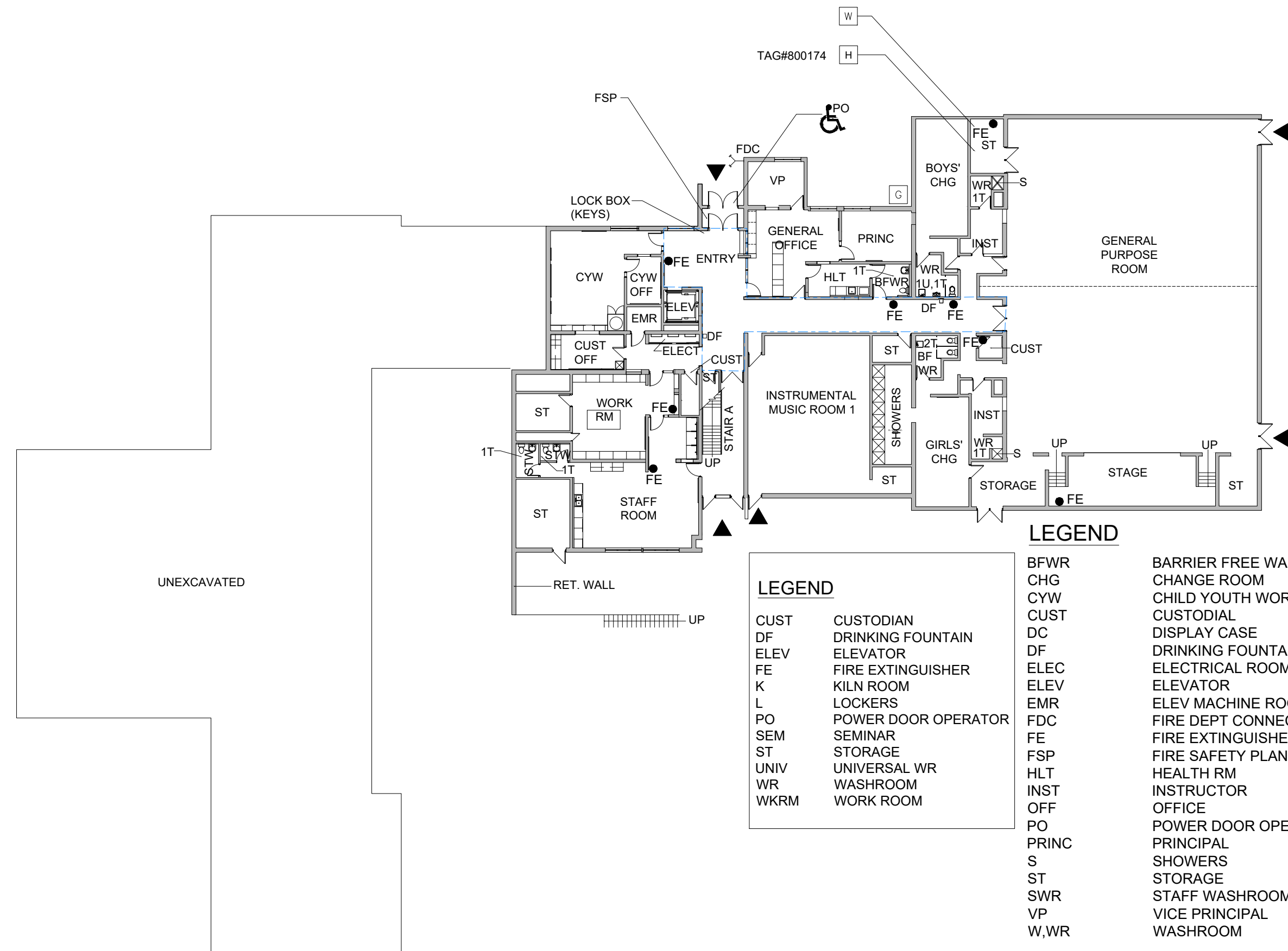


BRANTFORD TORONTO OTTAWA

AFFILIATED OFFICES:

A0.1

Abbr-Drawing List - Wall Schedules - OBC Matrix

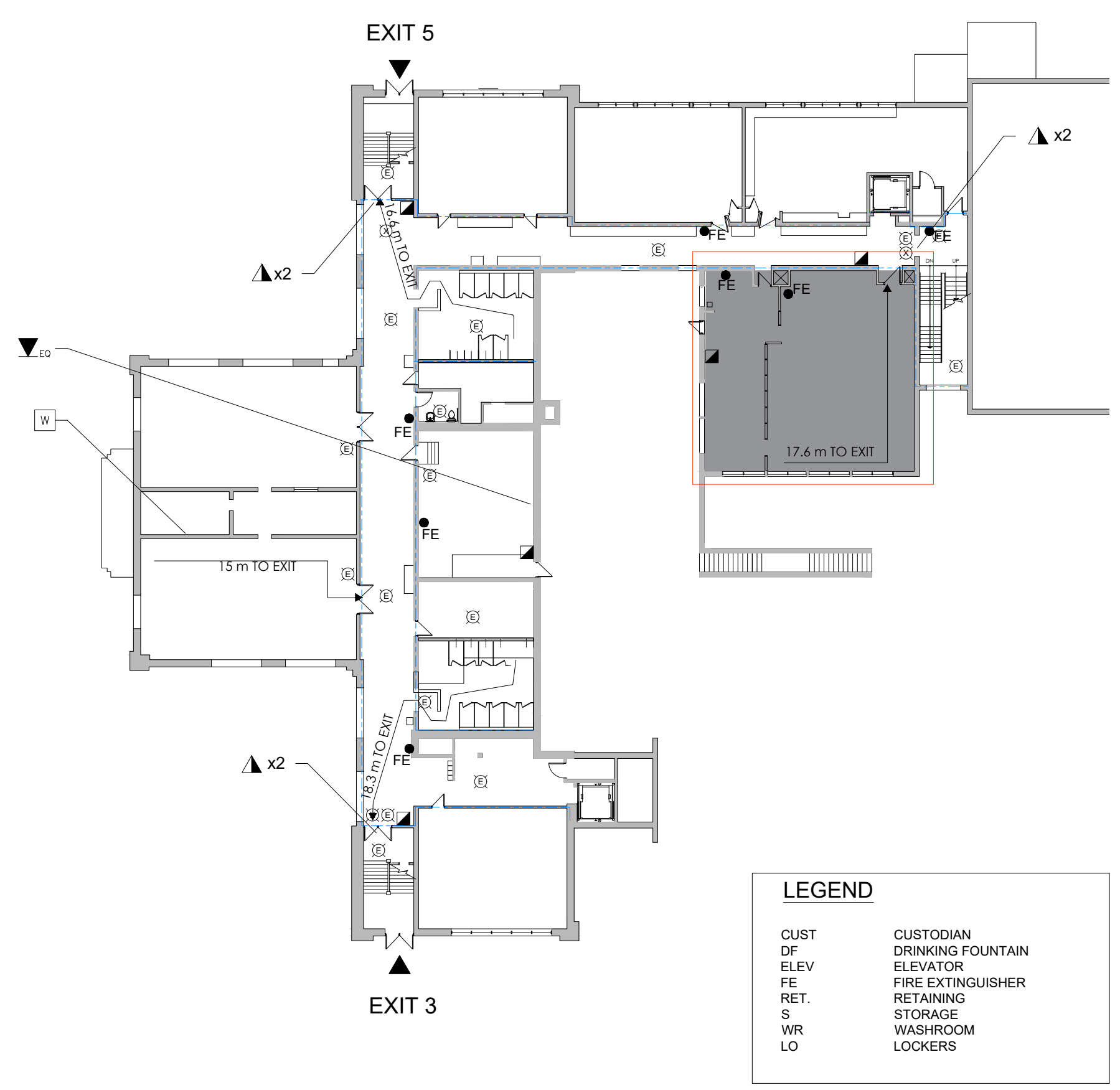


- LEGEND**
- CUST CUSTODIAN
 - DF DRINKING FOUNTAIN
 - ELEV ELEVATOR
 - FE FIRE EXTINGUISHER
 - K KILN ROOM
 - L LOCKERS
 - PO POWER DOOR OPERATOR
 - SEM SEMINAR
 - ST STORAGE
 - UNIV UNIVERSAL WR
 - WR WASHROOM
 - WKRM WORK ROOM
- LEGEND**
- BFWR BARRIER FREE WASHROOM
 - CHG CHANGE ROOM
 - CYW CHILD YOUTH WORKER
 - CUST CUSTODIAL
 - DC DISPLAY CASE
 - DF DRINKING FOUNTAIN
 - ELEC ELECTRICAL ROOM
 - ELEV ELEVATOR
 - EMR ELEV MACHINE ROOM
 - FDC FIRE DEPT CONNECTION
 - FE FIRE EXTINGUISHER
 - FSP FIRE SAFETY PLAN
 - HLT HEALTH RM
 - INST INSTRUCTOR
 - OFF OFFICE
 - PO POWER DOOR OPERATOR
 - PRINC PRINCIPAL
 - S SHOWERS
 - ST STORAGE
 - SWR STAFF WASHROOM
 - VP VICE PRINCIPAL
 - W.WR WASHROOM

- LIFE SAFETY LEGEND**
- EXISTING**
- EXITS
 - EXIT NUMBERS
 - FIRE EXTINGUISHERS
 - PULL STATION
 - HOLD-OPEN DEVICES
 - EMERGENCY LIGHTING
 - EXIT LIGHTING
 - FIRE EXTINGUISHERS
 - FIRE DAMPERS, SHUTTERS & INTERLOCKS
 - EXISTING 1 HR. FIRE SEPARATION TO BE MAINTAINED
 - TRAVEL DISTANCE IN METERS
 - SCOPE OF WORK

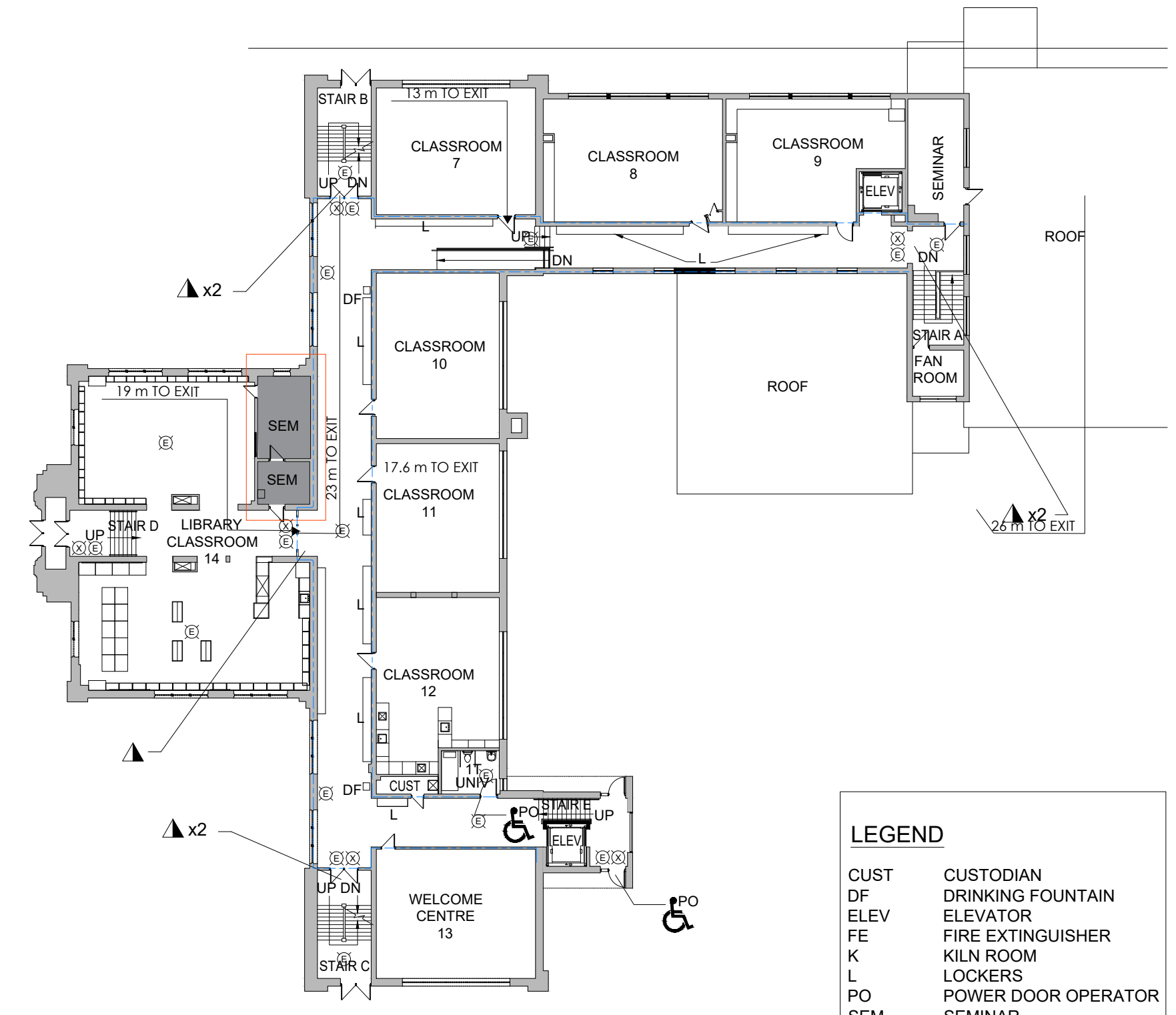
0 LEVEL 1 - EXISTING LIFE SAFETY PLAN
D2.1

FIRST FLOOR PLAN



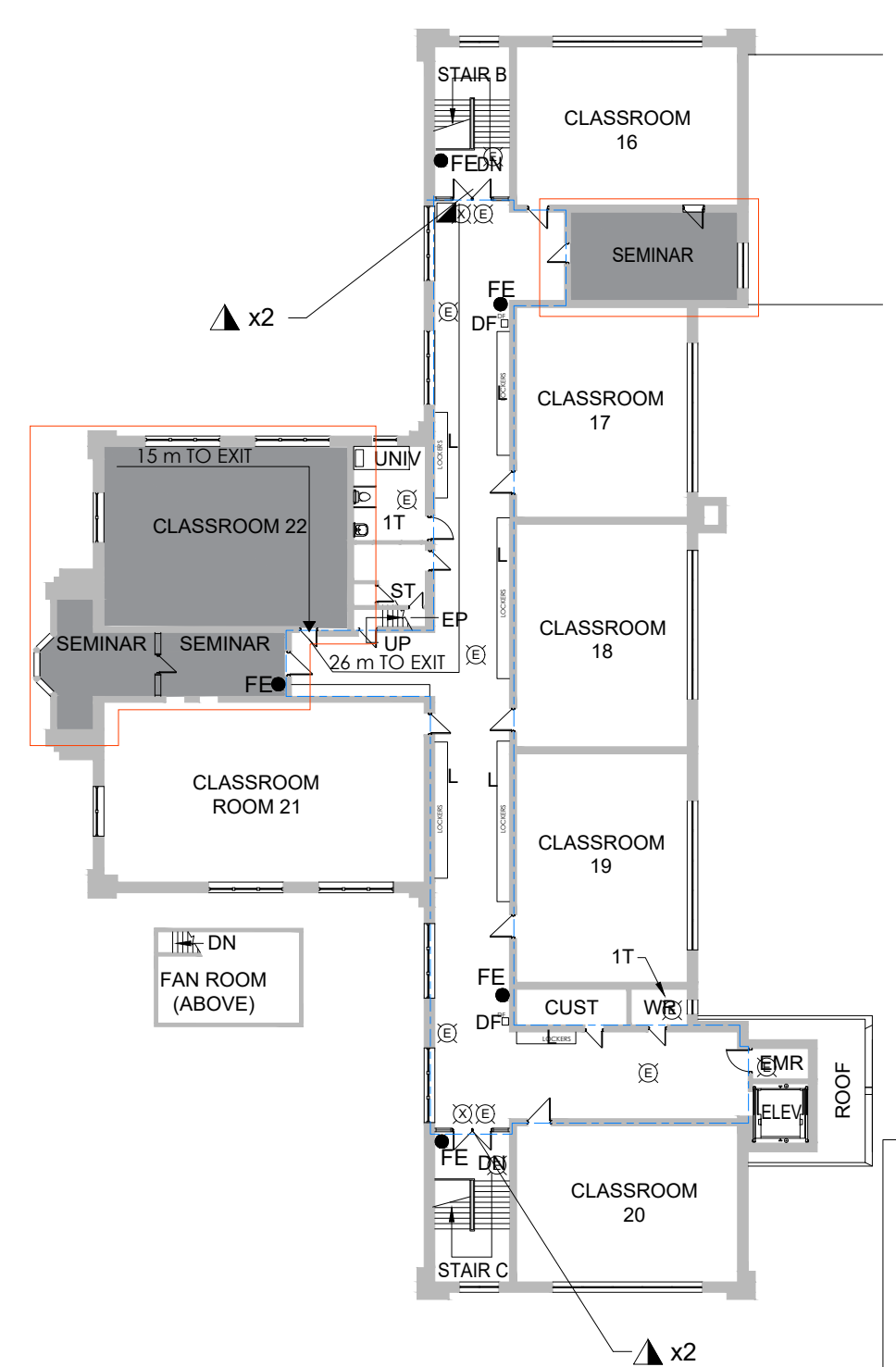
- LEGEND**
- CUST CUSTODIAN
 - DF DRINKING FOUNTAIN
 - ELEV ELEVATOR
 - FE FIRE EXTINGUISHER
 - RET. RETAINING
 - S STORAGE
 - WR WASHROOM
 - LO LOCKERS

1 LEVEL 2 - EXISTING LIFE SAFETY PLAN
D2.1



- LEGEND**
- CUST CUSTODIAN
 - DF DRINKING FOUNTAIN
 - ELEV ELEVATOR
 - FE FIRE EXTINGUISHER
 - K KILN ROOM
 - L LOCKERS
 - PO POWER DOOR OPERATOR
 - SEM SEMINAR
 - ST STORAGE
 - UNIV UNIVERSAL WR
 - WR WASHROOM
 - WKRM WORK ROOM

1 LEVEL 3 - EXISTING LIFE SAFETY PLAN
D2.1



- LEGEND**
- C CUSTODIAN
 - DF DRINKING FOUNTAIN
 - EP ELECTRICAL PANEL
 - FE FIRE EXTINGUISHER
 - L LOCKERS
 - OISE ONTARIO INSTITUTE FOR STUDIES AND EDUCATION
 - ST STORAGE
 - WR WASHROOM

3 LEVEL 4 - EXISTING LIFE SAFETY PLAN
D2.1

REVISIONS

NO.	DATE	PARTICULAR
1	2024.04.19	ISSUED FOR TENDER
2		
3		
4		

NOTES:

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22368
MARGARET AVENUE PUBLIC SCHOOL RENOV.

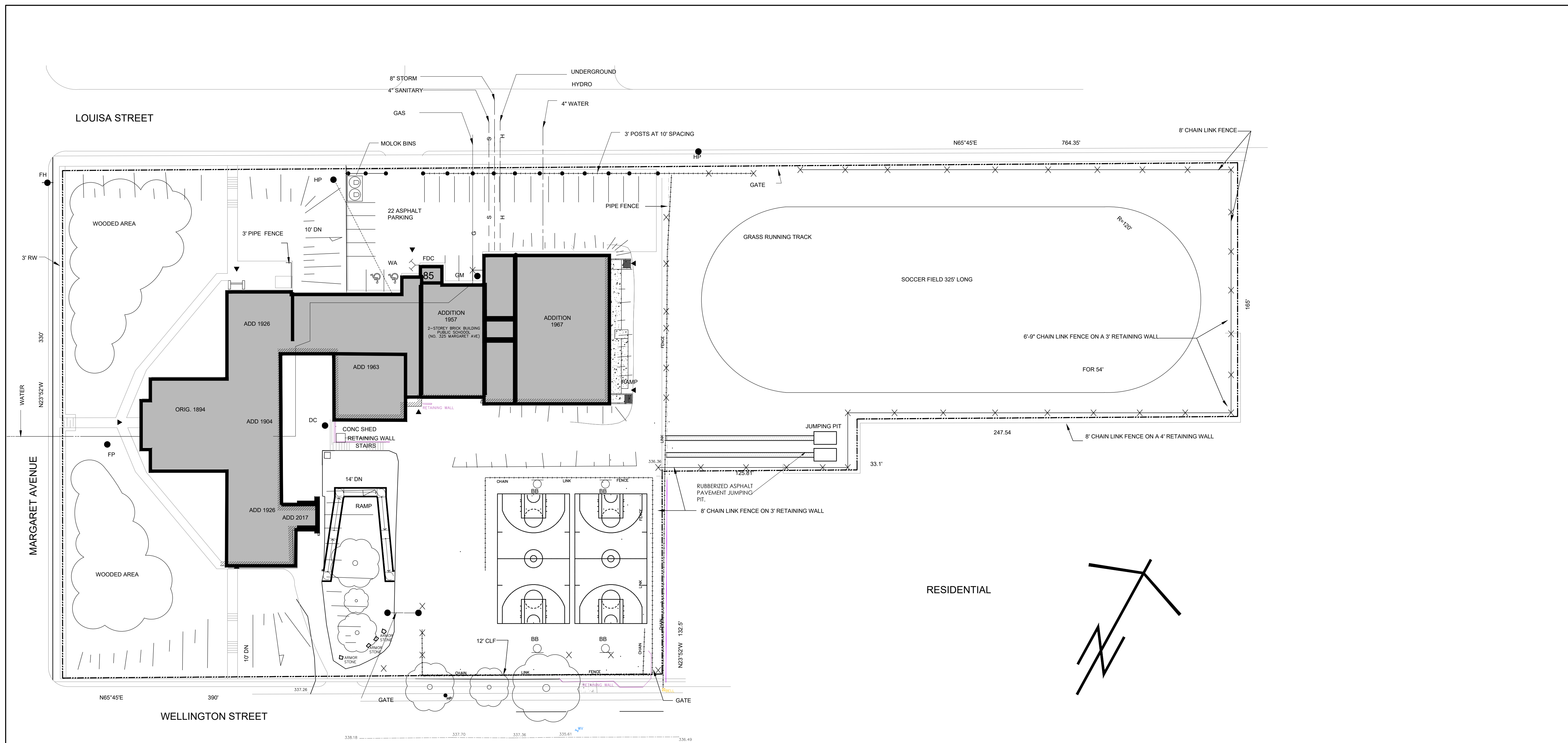
325 Louisa Street,
KITCHENER, ON
N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

VG ARCHITECTS
THE VENTIN GROUP LTD

All dimensions and measurements must be checked and verified by the General Contractor. Reproduction of drawings and related documents in whole or in part is forbidden without written permission of The Ventin Group.

LIFE SAFETY PLANS



REVISIONS		
NO.	DATE	PARTICULAR
1	2024.04.19	ISSUED FOR TENDER
2		
3		
4		

NOTES:
 SITE PLAN PROVIDED FOR REFERENCE ONLY

CLIENT:
 WATERLOO REGION DISTRICT SCHOOL BOARD
 51 ARDELT AVENUE
 KITCHENER, ONTARIO
 N2C 2R5

PROJECT:
 22368
 MARGARET AVENUE PUBLIC SCHOOL RENOV.

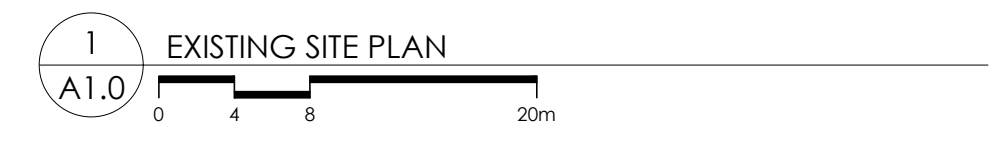
325 Louisa Street,
 KITCHENER, ON
 N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
 KEY TO DETAIL LOCATION:
 A - DETAIL NO.
 B - DETAIL NO. ORIGIN

+VVG ARCHITECTS
 THE VENIIN GROUP LTD

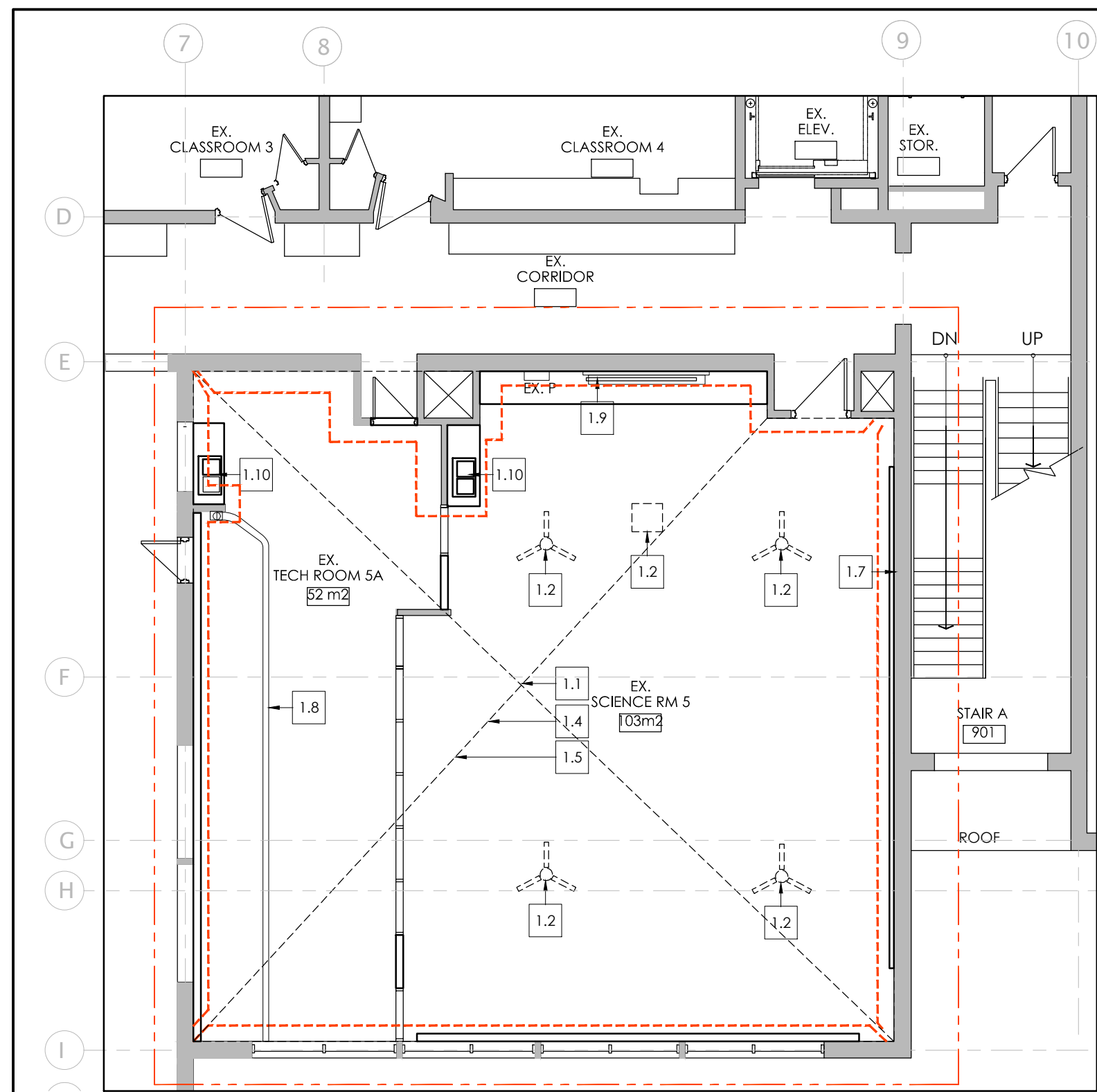
LEGEND

- ▲ EX. ENTRANCE / EXIT
- PROPERTY LINE
- BB BASKETBALL HOOP
- DC DUST COLLECTOR
- FDC FIRE DEPT CONNECTION
- FP FLAG POLE
- GM GAS METER ENCLOSED BY A 74" HIGH, 81x16" CHAIN LINK FENCE
- HP HYDRO POLE
- RW RETAINING WALL
- WA WHEELCHAIR ACCESSIBLE
- OH FIBRE



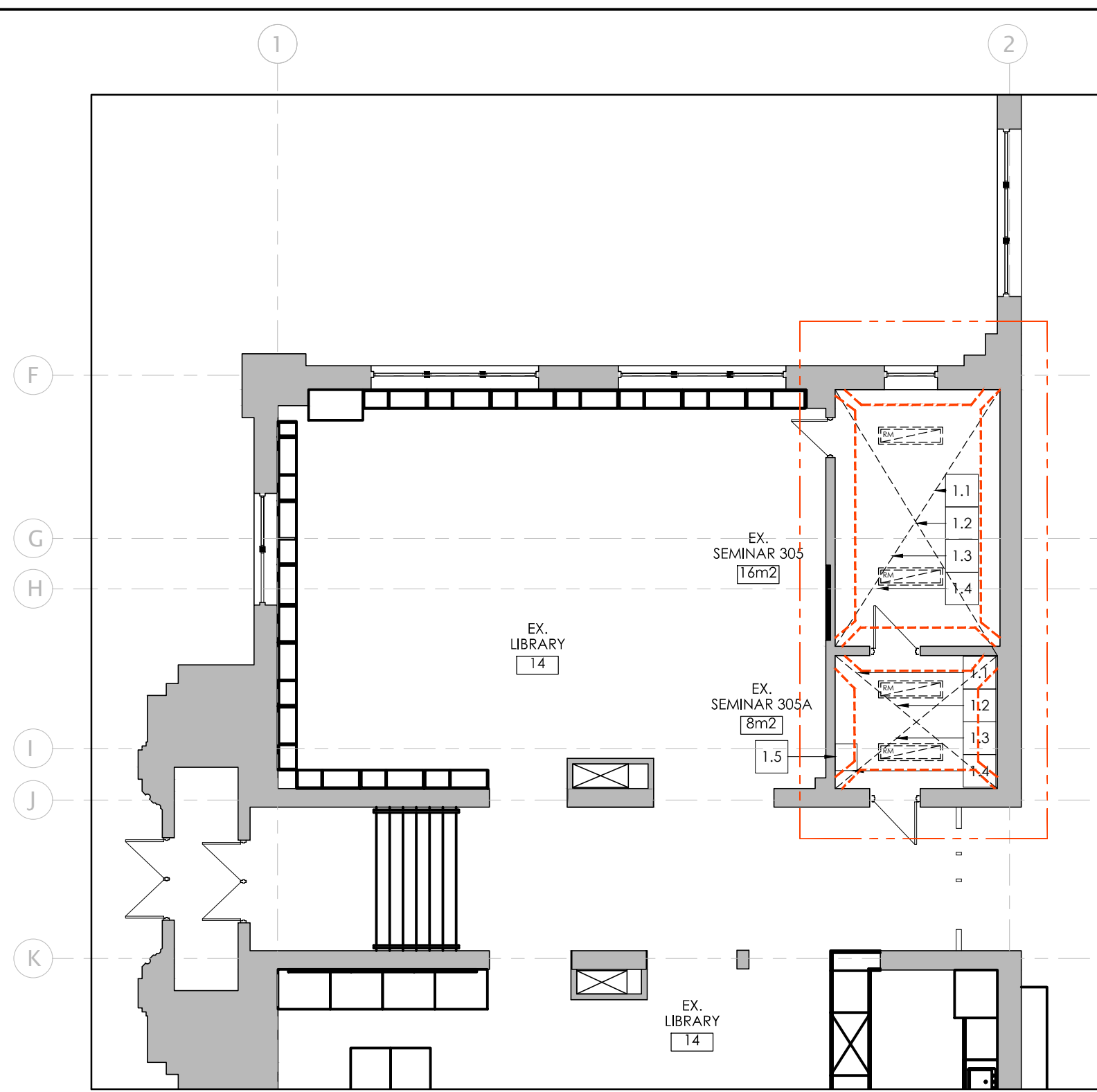
All dimensions and measurements in whole or in parts
 reproduced without written permission of the Veniin Group.

EXISTING SITE PLAN - FOR REFERENCE



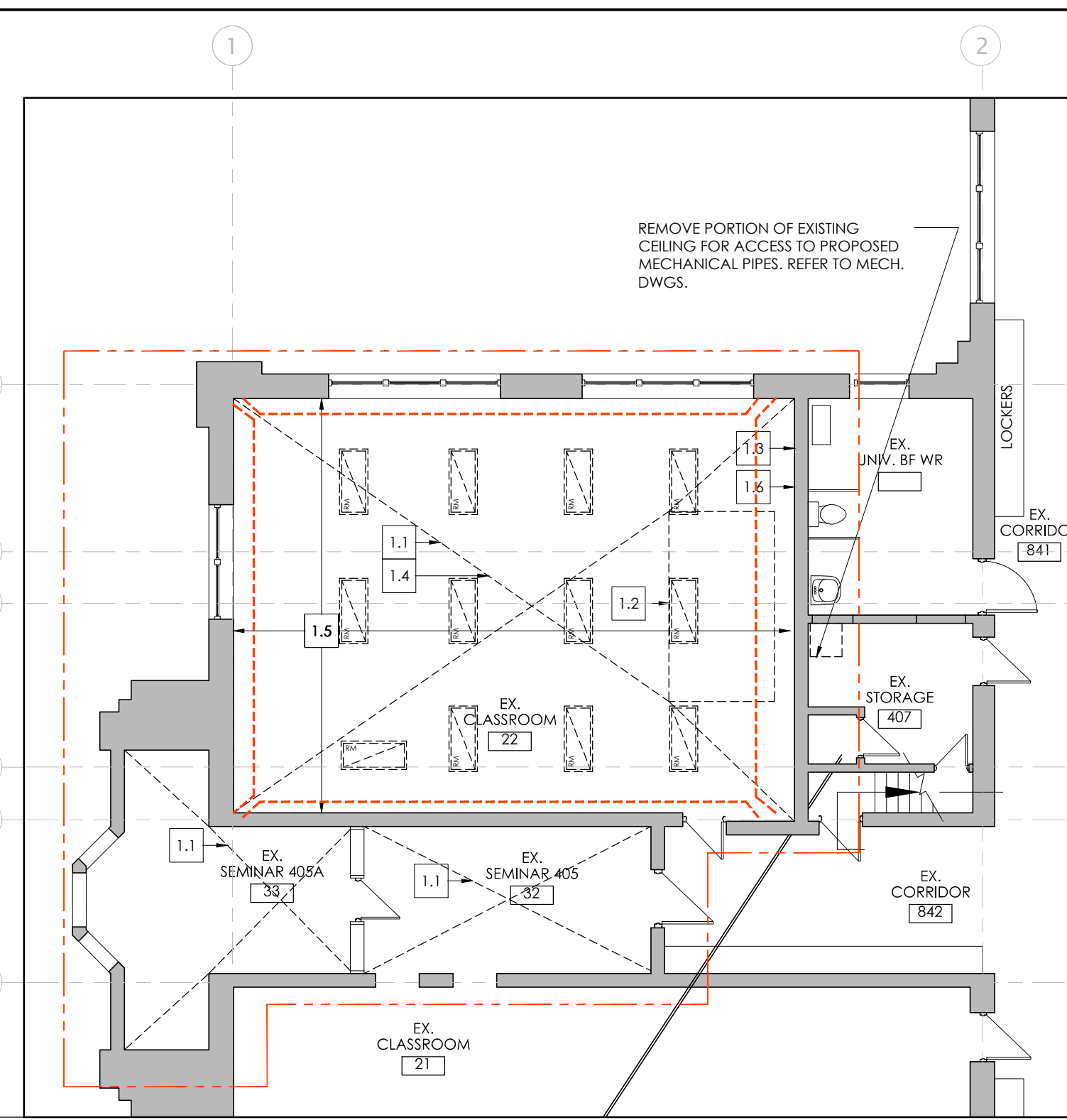
1 LEVEL 2 - PART A DEMO FLOOR PLAN

D2.1
0 1 2 5m



1 LEVEL 3 - PART B DEMO FLOOR PLAN

D2.1
0 1 2 5m



3 LEVEL 4 - PART C DEMO FLOOR PLAN

D2.1
0 10 20 50mm

CEILING DEMOLITION NOTES

REMOVE EXISTING CEILINGS INCLUDING BUT NOT LIMITED TO ACT / T BAR GRID, BULKHEADS, MSC, FRAMING & ASSOCIATED MECHANICAL / ELECTRICAL (COORD. W/ MECH. & ELEC. DWG.S) EXISTING GYPSUM BOARD / SHEETROCK SECONDARY / UPPER CEILINGS REQUIRED FOR FIRE RATED PROTECTION TO REMAIN WHERE IT EXISTS TYPICAL.

NOTE: REMOVE EX. CEILINGS AS REQ. D TO INSTALL ANY NEW WORK FOR ANY TRADE ABOVE AS REQ. D. RE-INSTALL EX. CEILING WHERE ABLE. INSTALL CEILING & PAINT TO MATCH ADJ. WHERE REQ. D. PROVIDE CLEAN TRANSITIONS. MAKE GOOD WHERE DAMAGED / DISTURBED TYP.

COORD. W. ELECTRICAL AND MECHANICAL DRAWINGS FOR ANY ADDITIONAL AREAS WHERE CEILING IS TO BE REMOVED NOT INDICATED IN THE ARCHITECTURAL DRAWINGS AS PART OF THE SCOPE OF THIS PROJECT AND CONTRACT.

HATCH IDENTIFICATION MARKER LEGEND

ALL ITEMS INDICATED W/ A DASHED LINE (DARKER LINE WEIGHT) ARE CONSIDERED TO BE REMOVED BY THIS CONTRACT. ITEMS INDICATED DO NOT NECESSARILY ENTAIL ALL ITEMS TO BE REMOVED - COORD. W/ ALL CONST. DOCUMENTS & CONSULTANT DWG.S FOR NEW WORK THAT REQUIRES DEMO OF ANY EXIST

- - - - - EX. TO BE DEMOLISHED / REMOVED
- - - - - EXTEND OF WALL TO BE RENOVATED REMOVE PAINTING FROM WALL AND PREP FOR NEW FINISH
- - - - - INDICATES AREA TO BE UPDATED. REFER TO ROOM FINISH SCHEDULE REFINISH CEILINGS AND WALL WHERE DISTURBED DURING CONSTRUCTION

SPECIFIC DEMOLITION NOTES 1/D2.1

- 1.1 REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND ALL OF ITS MECHANICAL AND ELECTRICAL COMPONENTS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. COORDINATE WITH THE WATERLOO DISTRICT SCHOOL BOARD FOR STORAGE AND TRANSPORTATION OF EQUIPMENT TO BE RELOCATED/REINSTALL.
- 1.2 REMOVE AND SAFELY STORE EXISTING CEILING FANS A PROJECTOR FOR REUSE. REINSTALL WITH NEW ACT CEILING SYSTEM
- 1.3 REMOVE EXISTING WHITE BOARDS AND TACKBOARD. STORE AND COORDINATE WITH THE SCHOOL BOARD FOR RELOCATION, TRANSPORTATION AND STORAGE AS PART OF THE SCOPE OF WORK.
- 1.4 REMOVE AND DISPOSE OF EXISTING SHEET FLOOR FINISH IN ENTIRE ROOM. PREP AND LEVEL AS REQUIRED TO RECEIVE NEW FLOOR FINISH.
- 1.5 MAKE ALL WALLS AND FLOOR GOOD TO RECEIVE NEW WALL FINISH.
- 1.6 REMOVE AND DISPOSE OF EXISTING PEG BOARDS IN LAB. COORD. W. THE BOARD. PROVIDE 3 NEW PEGBOARDS. 1220 X 1800mm. COORD. HEIGHT MOUNTING ON SITE
- 1.7 REMOVE AND DISPOSE OF EXISTING WHITE BOARDS IN LAB. PROVIDE 4 NEW WHITEBOARDS 1200X1800mm. COORDINATE LOCATION ON SITE.
- 1.8 EXISTING DUST COLLECTOR DUCTWORK TO BE EXPOSED BELOW NEW CEILING COORDINATE WITH ELECTRICAL AND MECHANICAL FOR LOCATION OF FIXTURES.
- 1.9 SAFELY REMOVE AND STORE TELEVISION AND PROJECTOR SCREEN. TO BE REINSTALLED AS PART OF THE BASE BID.
- 1.10 EX. SINK AND MILLWORK TO REMAIN

MECH. / ELEC. NOTES
REMOVE EX. ELEC. LIGHT FIXTURES (WIRING BACK TO POINT OF ORIGIN / MAIN PANEL). (COORD. W/ ELEC. DWG.S)
REMOVE EX. MECH. (DUCTWORK, AIR HANDLING UNITS, FANS, SUPPLYS, DIFFUSERS, ELEC. WIRING, IT CONDUIT, DATA, ALARMS, PLUMBING FIXTURES ETC. (COORD. W/ MECH. DWGS.)
COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATION OF ALL ELECTRICAL AND MECHANICAL EQUIPMENT.

MILLWORK EXISTING MILLWORK/SHELVES TO REMAIN

SPECIFIC DEMOLITION NOTES 2/D2.1

- 1.1 REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND ALL OF ITS MECHANICAL AND ELECTRICAL COMPONENTS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. COORDINATE WITH THE WATERLOO DISTRICT SCHOOL BOARD FOR STORAGE AND TRANSPORTATION OF EQUIPMENT TO BE RELOCATED/REINSTALL.
- 1.2 REMOVE AND DISPOSE OF EXISTING FLOOR FINISH IN ROOMS 305 AND 305A. PREP AND LEVEL AS REQUIRED TO RECEIVE NEW FLOOR FINISH.
- 1.3 REMOVE EXISTING FIXED MILLWORK.
- 1.4 PATCH AND REPAIR WALLS. PREP TO RECEIVE NEW WALL PAINTING.
- 1.5 EXISTING DATA CENTER COORDINATE WITH ELECTRICAL DWGS.

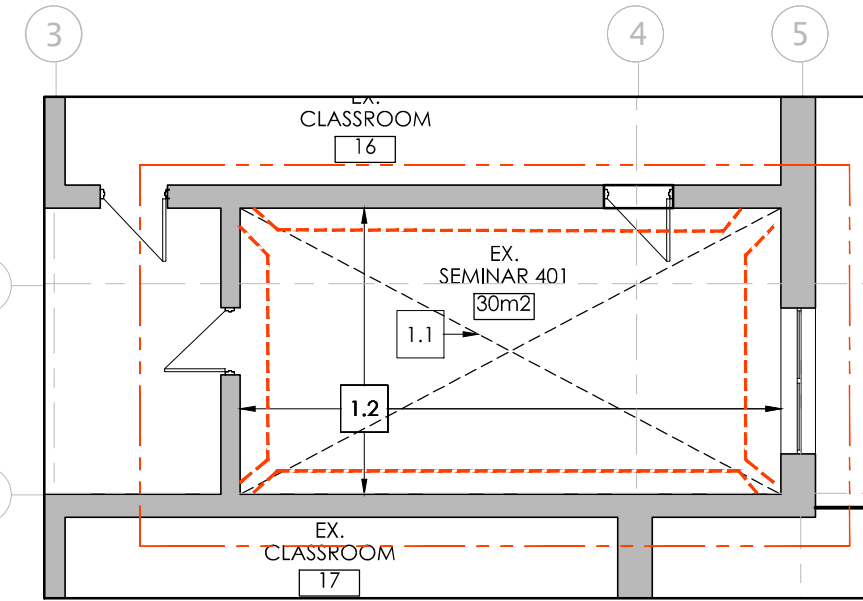
MECH. / ELEC. NOTES
REMOVE EX. ELEC. LIGHT FIXTURES (WIRING BACK TO POINT OF ORIGIN / MAIN PANEL). (COORD. W/ ELEC. DWG.S)
REMOVE EX. MECH. (DUCTWORK, AIR HANDLING UNITS, FANS, SUPPLYS, DIFFUSERS, ELEC. WIRING, IT CONDUIT, DATA, ALARMS, PLUMBING FIXTURES ETC. (COORD. W/ MECH. DWGS.)

MILLWORK
EXISTING MILLWORK/SHELVES TO REMAIN

SPECIFIC DEMOLITION NOTES 3/D2.1

- 1.1 REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND ALL OF ITS MECHANICAL AND ELECTRICAL COMPONENTS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. COORDINATE WITH THE WATERLOO DISTRICT SCHOOL BOARD FOR STORAGE AND TRANSPORTATION OF EQUIPMENT TO BE RELOCATED/REINSTALL.
- 1.2 REMOVE AND DISPOSE OF EXISTING PODIUM AND EXISTING PLUMBING CONNECTIONS AND ALL SERVICE INSTALLATION. CAP AND SEAL PIPES AS REQUIRED. REFER TO MECHANICAL AND ELECTRICAL DWGS.
- 1.3 REMOVE EX. CHALK BD.S, SMART BD.S, TACK BD.S, WHITE BD.S TO BE TURNED OVER TO OWNER UNLESS BEING RE-USED. COORDINATE WITH THE SCHOOL BOARD FOR RELOCATION, TRANSPORTATION AND STORAGE AS PART OF BASE BID TENDER PRICE.
- 1.4 REMOVE EX. FIN. FLRNG., INCLUDING BUT NOT LIMITED TO FIN. FLRNG., UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS, TO CONC. SUBFLR. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH. ENSURE ALL NEW & EX. VARIATIONS IN FLR. HEIGHT WITHIN THE SCOPE OF WORK. HOWEVER MINOR ARE FEATHERED & LEVELED TO PROVIDE A SLOPE OF NOT MORE THAN 10MM/3000MM.
- 1.5 REMOVE ALL ELEMENTS HANGING FROM WALL. PATCH AND REPAIR WALLS. PREP TO RECEIVE NEW WALL PAINTING.
- 1.6 REMOVE EXISTING MILLWORK AGAINST THIS WALL. PATCH AND REPAIR WALL TO RECEIVE NEW FINISH AND MILLWORK

MECH. / ELEC. NOTES
REMOVE EX. ELEC. LIGHT FIXTURES (WIRING BACK TO POINT OF ORIGIN / MAIN PANEL). (COORD. W/ ELEC. DWG.S)
REMOVE EX. MECH. (DUCTWORK, AIR HANDLING UNITS, FANS, SUPPLYS, DIFFUSERS, ELEC. WIRING, IT CONDUIT, DATA, ALARMS, PLUMBING FIXTURES ETC. (COORD. W/ MECH. DWGS.)



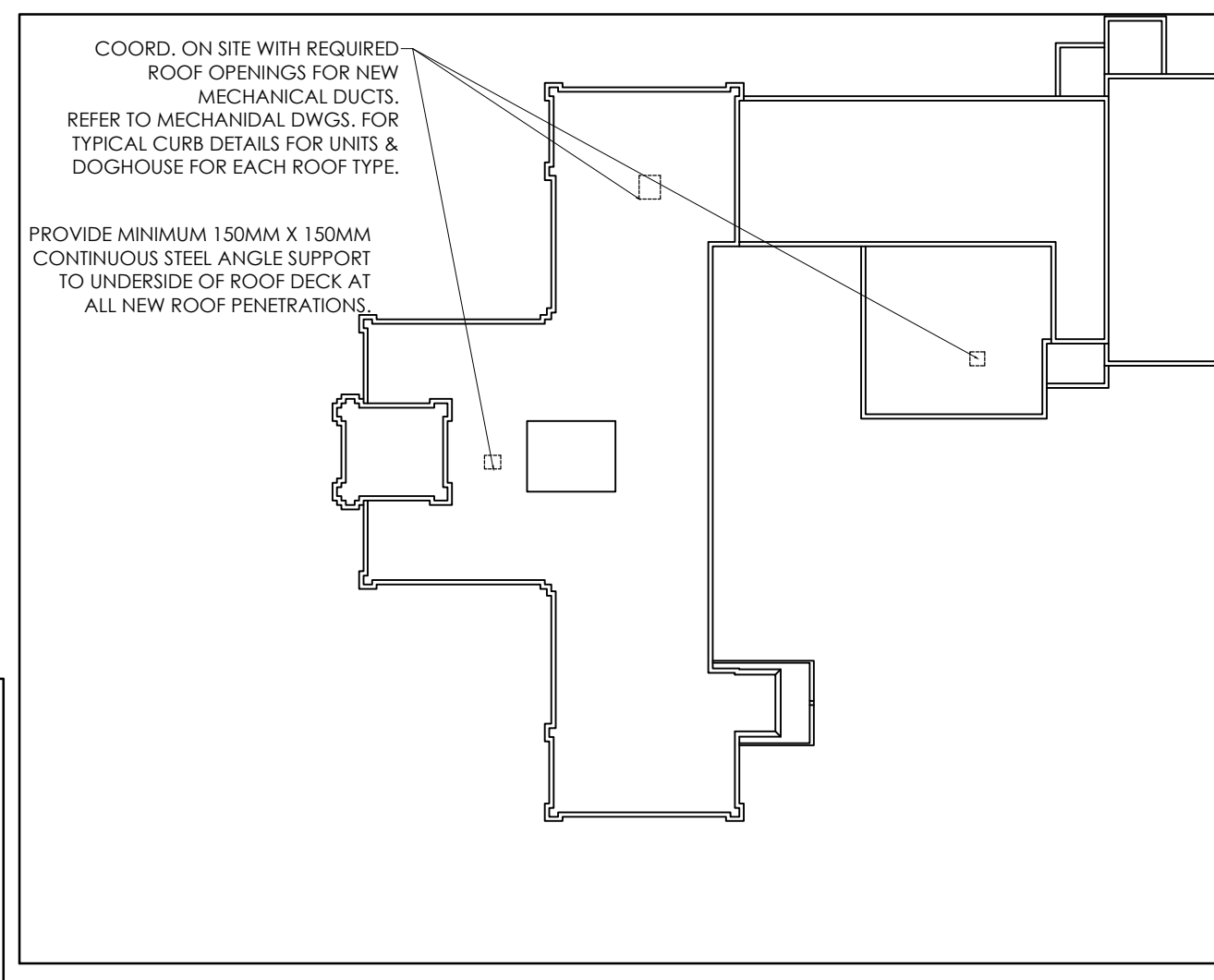
4 LEVEL 4 - PART D DEMO FLOOR PLAN

D2.1
0 10 20 50mm

SPECIFIC DEMOLITION NOTES 4/D2.1

- 1.1 REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND ALL OF ITS MECHANICAL AND ELECTRICAL COMPONENTS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. COORDINATE WITH THE WATERLOO DISTRICT SCHOOL BOARD FOR STORAGE AND TRANSPORTATION OF EQUIPMENT TO BE RELOCATED/REINSTALL.
- 1.2 PATCH AND REPAIR WALLS. PREP TO RECEIVE NEW WALL PAINTING.

MECH. / ELEC. NOTES
REMOVE EX. ELEC. LIGHT FIXTURES (WIRING BACK TO POINT OF ORIGIN / MAIN PANEL). (COORD. W/ ELEC. DWG.S)
REMOVE EX. MECH. (DUCTWORK, AIR HANDLING UNITS, FANS, SUPPLYS, DIFFUSERS, ELEC. WIRING, IT CONDUIT, DATA, ALARMS, PLUMBING FIXTURES ETC. (COORD. W/ MECH. DWGS.)



5 ROOF DEMO PLAN

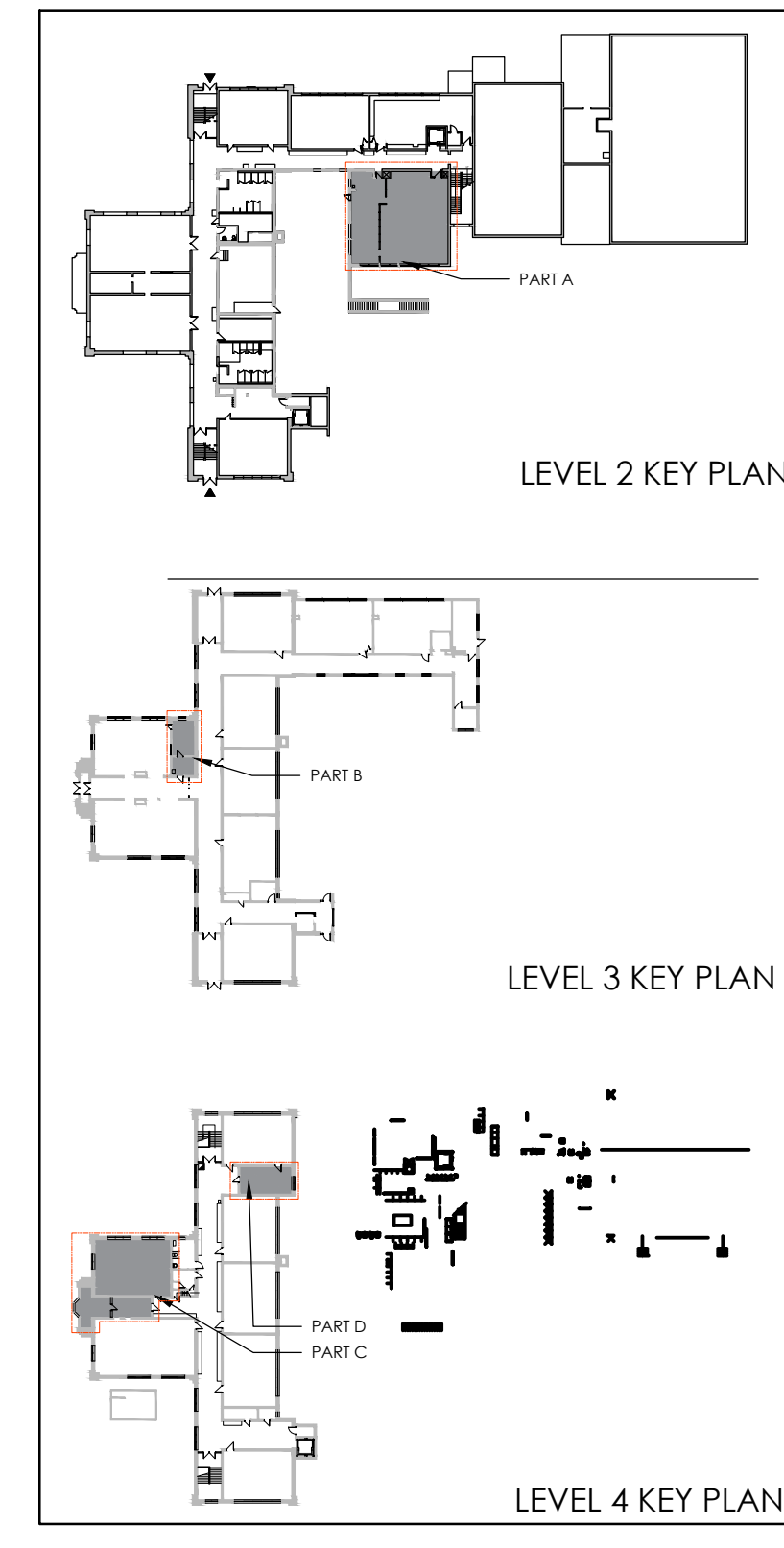
AD2.1
0 5 10 25m

GENERAL DEMOLITION NOTES

- CONTRACTOR TO VERIFY ALL CONDITIONS ON SITE TO DETERMINE COMPLETE SCOPE OF WORK (COORD. W/ EX. ALL OTHER DWG.S)
- CONTRACTOR TO SECURE THE WORK SITE DURING DEMO & CONST. & HOARD OFF THE WORK AREA TO PREVENT ACCESS FROM ANYONE NOT ENGAGED IN THE WORK OF THIS DEMOLITION / CONST. SCOPE
- CONTRACTOR TO PROTECT ALL EXPOSED PORTIONS OF THE EX. BLDG. TO REMAIN / REPLACE & TO REPAIR ANY DAMAGE CAUSED BY INSUFFICIENT PROTECTION
- CONTRACTOR TO HOARD OFF DEMO. AREA TO PREVENT ACCESS FROM ANYONE NOT ENGAGED IN THE WORK OF THIS DEMOLITION SCOPE
- CONTRACTOR TO HOARD OFF ALL EXPOSED DOORWAYS AND CORRIDOR OPENINGS INTO THE REMAINING AREAS OF THE EXISTING BUILDING. HOARDING TO PROVIDE WEATHER-TIGHT CLOSURE TO PREVENT RAIN, SNOW OR ANY OTHER SOURCE OF MOISTURE INTO THE EXISTING BUILDING. CONTRACTOR TO REPLACE AND/OR REPAIR ANY DAMAGE CAUSED BY INSUFFICIENT PROTECTION
- CONTRACTOR TO PROTECT ALL EXPOSED PORTIONS OF THE EXISTING BUILDING WHICH WERE NOT PREVIOUSLY EXPOSED TO WEATHER FROM WEATHER AND MOISTURE. CONTRACTOR TO REPLACE AND/OR REPAIR ANY DAMAGE CAUSED BY INSUFFICIENT PROTECTION
- MAKE GOOD ALL DISTURBED SURFACES & ADJACENT SYSTEMS THAT ARE DAMAGED AND THAT ARE TO REMAIN. PROVIDE CLEAN TRANSITIONS TYPICAL.
- MAINTAIN SAFE PUBLIC ACCESS TO THE BLDG. DURING OPERATING HOURS & MAINTAIN FULL EMERGENCY ACCESS & EXITING @ ALL TIMES TO & FROM THE BLDG. & PROVIDE PROTECTION TO THE PUBLIC FROM FALLING DEBRIS & CONST. TRAFFIC & POST SIGNAGE AS REQ. D.
- CONTRACTOR TO OBTAIN LOCATES FOR ALL UNDERGROUND & O/H SERVICES ON BOTH EXT. & INT. OF PROPERTY / BOUNDARY / SCOPE OF WORK LINES PRIOR TO ANY DIGGING / EXCAVATION / WORK (COORD. W/ SITE SERVICE & EX. SITE SURVEY DWG.S)
- CONTRACTOR TO INCLUDE REMOVAL AND TERMINATION OF ANY EX. SERVICES CONNECTED TO THE EXISTING BUILDING / LOCATED IN SCOPE OF WORK TO BE DEMOLISHED / OR RELOCATED INCLUDING ANY NECESSARY PERMITS OR UTILITY FEES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL & DISPOSAL OF ALL MATERIALS THAT ARE DEMOLISHED & THAT ARE NOT INDICATED FOR RE-USE / RECLAIMING / SALVAGING OR AS OTHERWISE INDICATED BY THE OWNER. ALL COSTS ARE PART OF BASE BID SUBMISSION IN ACCORDANCE W/ BEST CONSTRUCTION PRACTICE, OBC, MUNICIPAL & PROVINCIAL LEGISLATURE REGARDING DEMOLITION & DISPOSAL METHODS (RECYCLE ALL MATERIALS WHERE ABLE) & ANY LEED REQUIREMENTS ALSO SPECIFIED UNDER THIS DOCUMENT.

ALL DEMOLITION WORK REFER TO MARGARET AVENUE PUBLIC SCHOOL 2021 ASBESTOS AUDIT UPDATE REPORT PREPARED BY MTE CONSULTANTS. REVISIONS: DECEMBER 13, 2021 - JULY 16, 2021
MTE FILE NO.: C34632-921

SALVAGING
ALL SALVAGED / REUSED MATERIALS ARE TO BE REMOVED W/ GREAT CARE. KEPT IN DRY PLACE. PLACED ON SKIDS, COVERED & PROTECTED FROM DAMAGE FOR FUTURE USE & IMPLEMENTATION. TAG / NOTE WHERE MATERIALS ARE ORIGINAL FROM IN THE BUILDING. LOCATION TO BE DETERMINED ON SITE W/ OWNER, TYP.



REVISIONS

NO.	DATE	PARTICULAR
1	2024.04.19	ISSUED FOR TENDER
2		
3		
4		

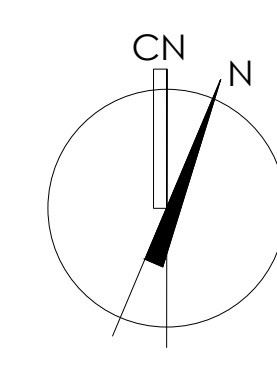
NOTES:

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22368
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9
ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

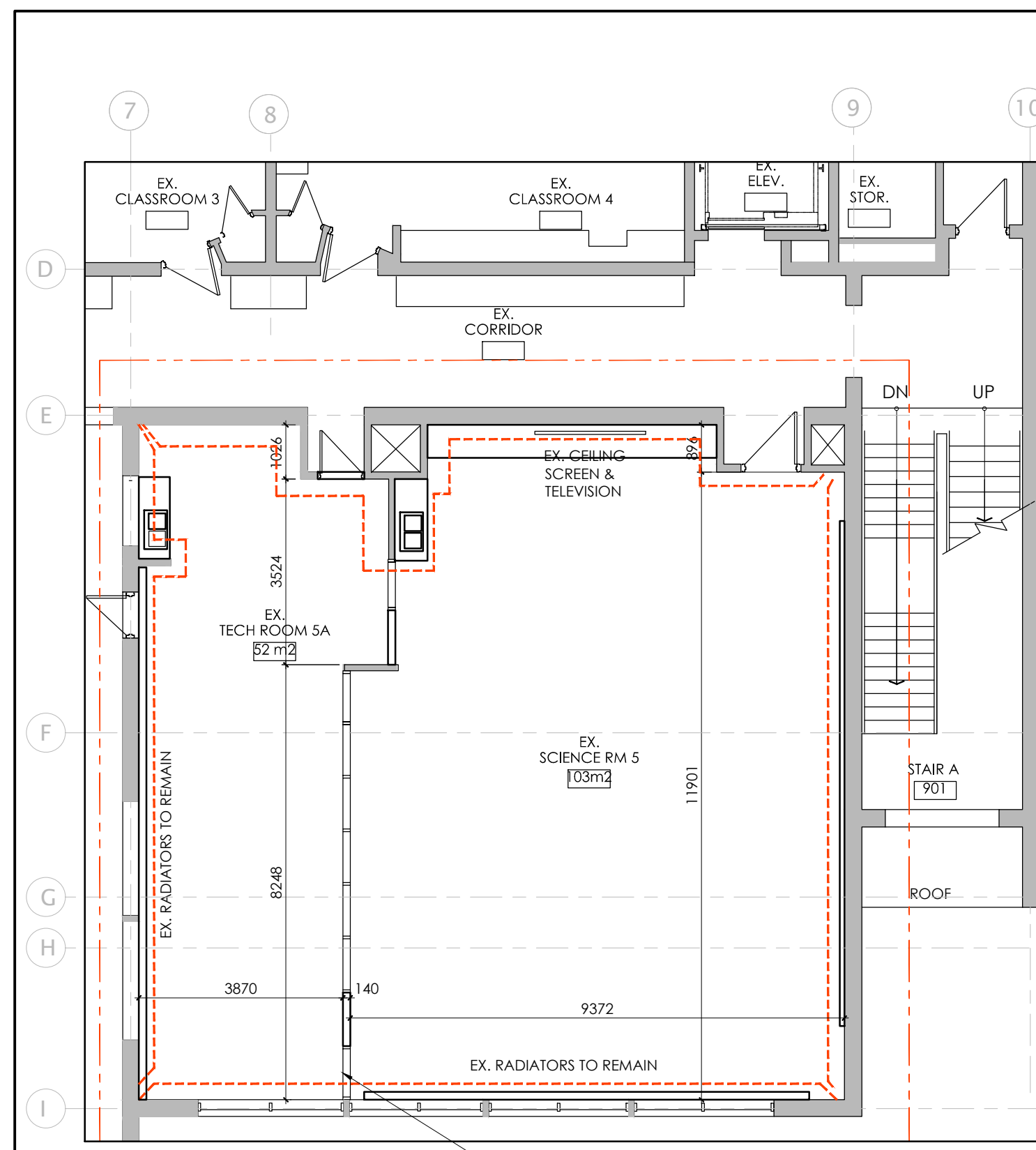
VG ARCHITECTS
THE VENTIN GROUP LTD



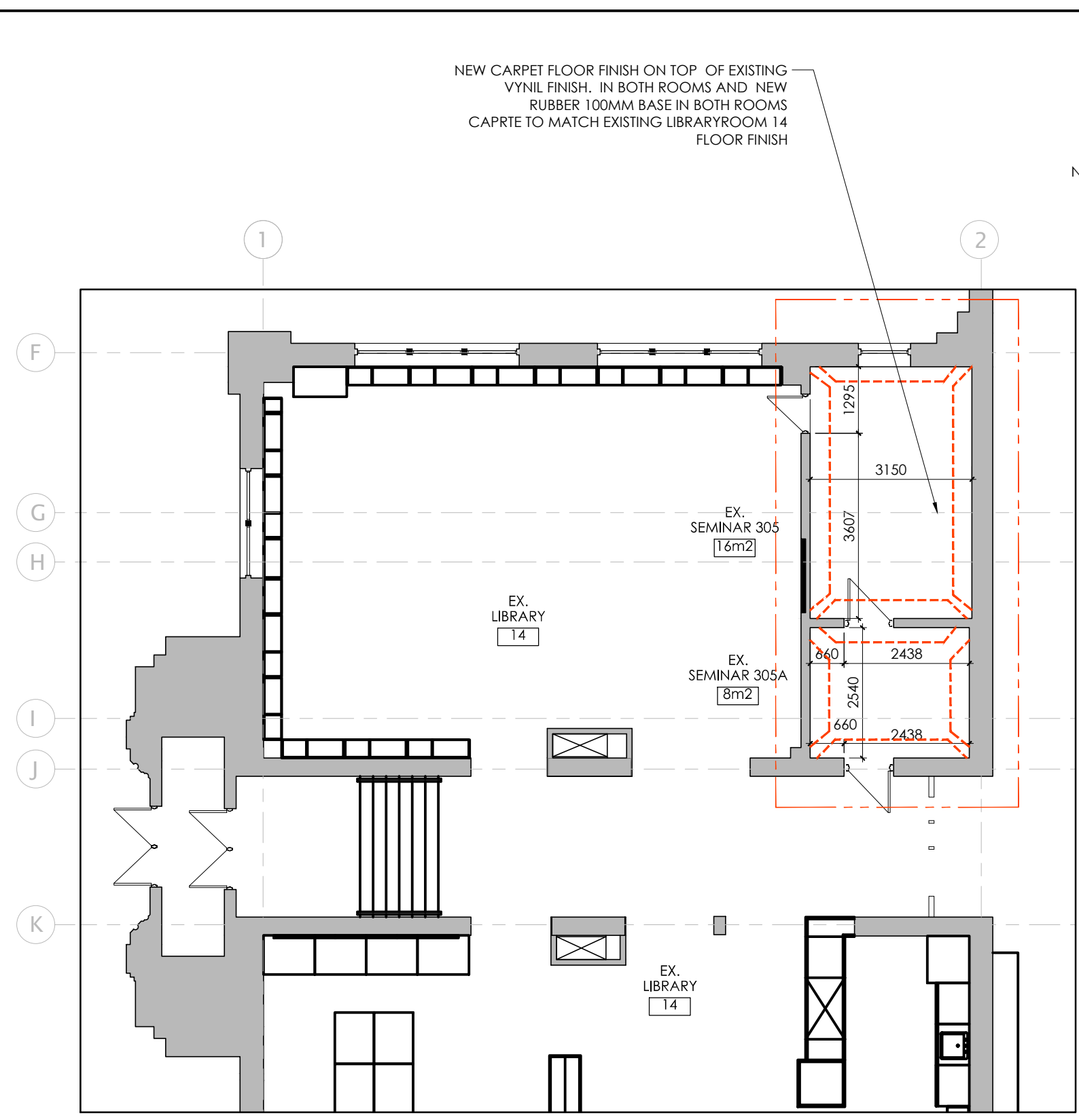
D2.1

All dimensions and measurements in whole or in part is to be taken from the drawings and shall be checked and verified by the General Contractor.

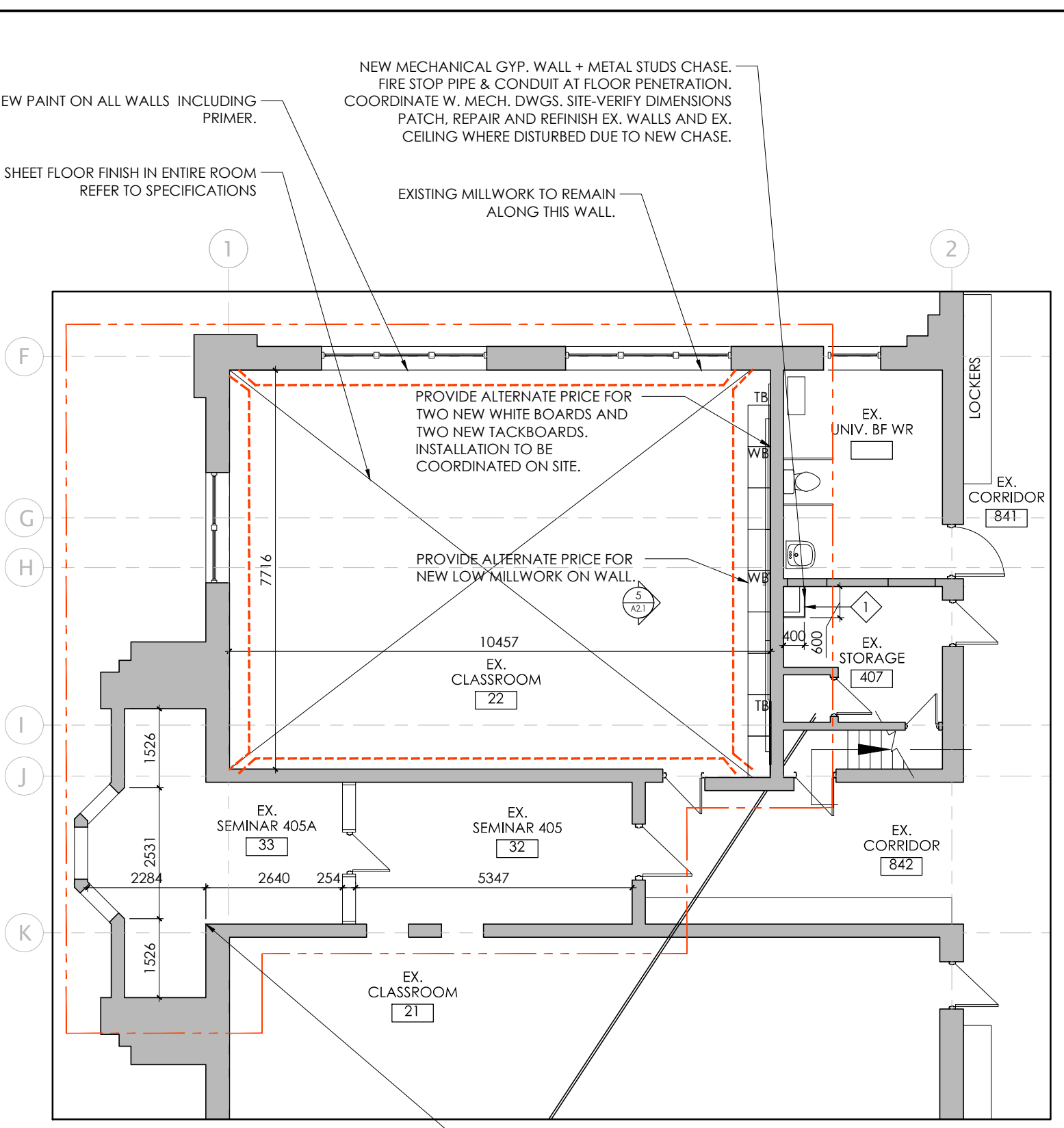
DEMOLITION DRAWING.



1 LEVEL 2 - PART A FLOOR PLAN
A2.1
0 1 2 5m



2 LEVEL 3 - PART B FLOOR PLAN
A2.1
0 1 2 5m



3 LEVEL 4 - PART C FLOOR PLAN
A2.1
0 1 2 5m

HATCH IDENTIFICATION MARKER LEGEND

INDICATES AREA TO BE UPDATED. REFER TO CHART FOR SPECIFIC INTERVENTION FINISHES AND WALL WHERE DISTURBED DUE TO CONSTRUCTION.

NEW PAINT FINISH. COLOUR TO BE APPROVED BY OWNER.

GENERAL NOTES

- ALL ITEMS ARE TO BE SECURED TO STRUCTURE ABOVE. IN CASE OF INTERFERENCE WITH DUCTWORK ABOVE PROVIDE SUPPORT USING UNISTRUT FRAMING OR EQUAL.
- FINAL LOCATION OF ANY EXHAUST FANS NOT SHOWN IN ARCH. DWG.'S TO BE COORDINATED WITH MECH & ELEC DRAWINGS.
- ALL DUCT SHAFT ENCLOSURES TO SUIT DUCT SIZES REQUIRED. COORD WITH MECHANICAL DRAWINGS.
- UNLESS OTHERWISE NOTED, ALL WALLS ARE TO GO UP TO THE U/S OF DECK ABOVE & BE SEALED TIGHT.

TYPICAL FOR ALL AREAS THAT ARE AFFECTED DURING CONSTRUCTION:

- EXISTING CEILING, FLOORS & WALLS FINISHES & MATERIALS TO REMAIN. PATCH, REPAIR AND MAKE GOOD EXISTING CEILING, FLOORS & WALLS FINISHES MATERIALS WHERE EXISTING CEILING, FLOORS & WALLS FINISHES MATERIALS WHERE EXISTING CEILING, FLOORS & WALLS FINISHES MATERIALS TO REMAIN. (TYPICAL)
- PAINTING OF SURFACES INCLUDES DOORS & FRAMES ON BOTH SIDES
- REMOVE EXISTING FINISHES WHERE NEW FINISHES ARE NOTED. MAKE GOOD EXISTING WHERE DISTURBED AND BLEND IN WITH NEW FINISHES AS REQUIRED.
- INSTALL NEW TRADITIONAL 4" JOHNSONITE BLACK RUBBER WALL BASE IN ALL AFFECTED ROOMS.
- PROVIDE ALUMINIUM TRANSITION STRIPS AT ALL DOORWAYS.

LEGEND:

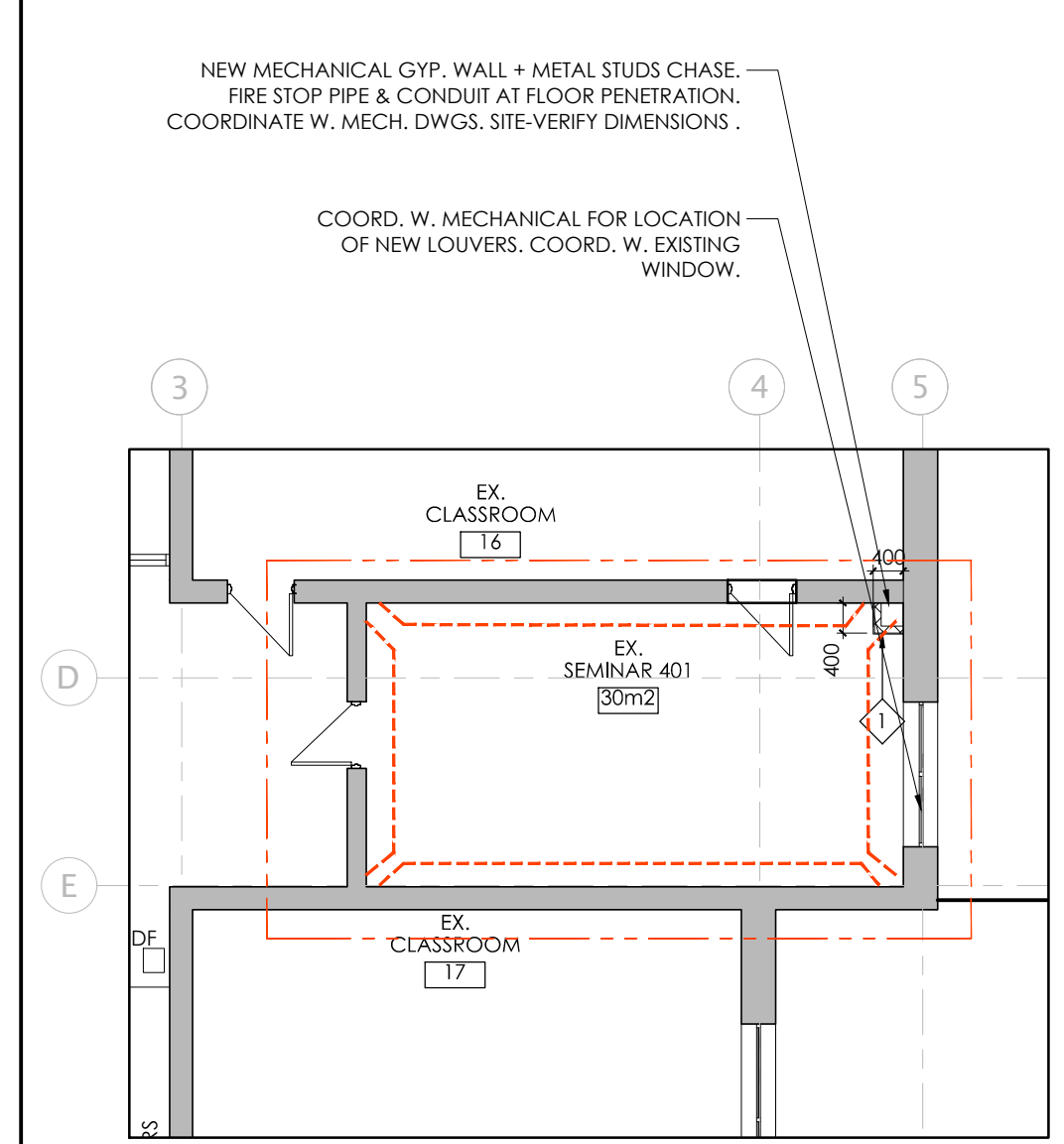
EX. WALL SYSTEM TO REMAIN

NEW STUD WALL

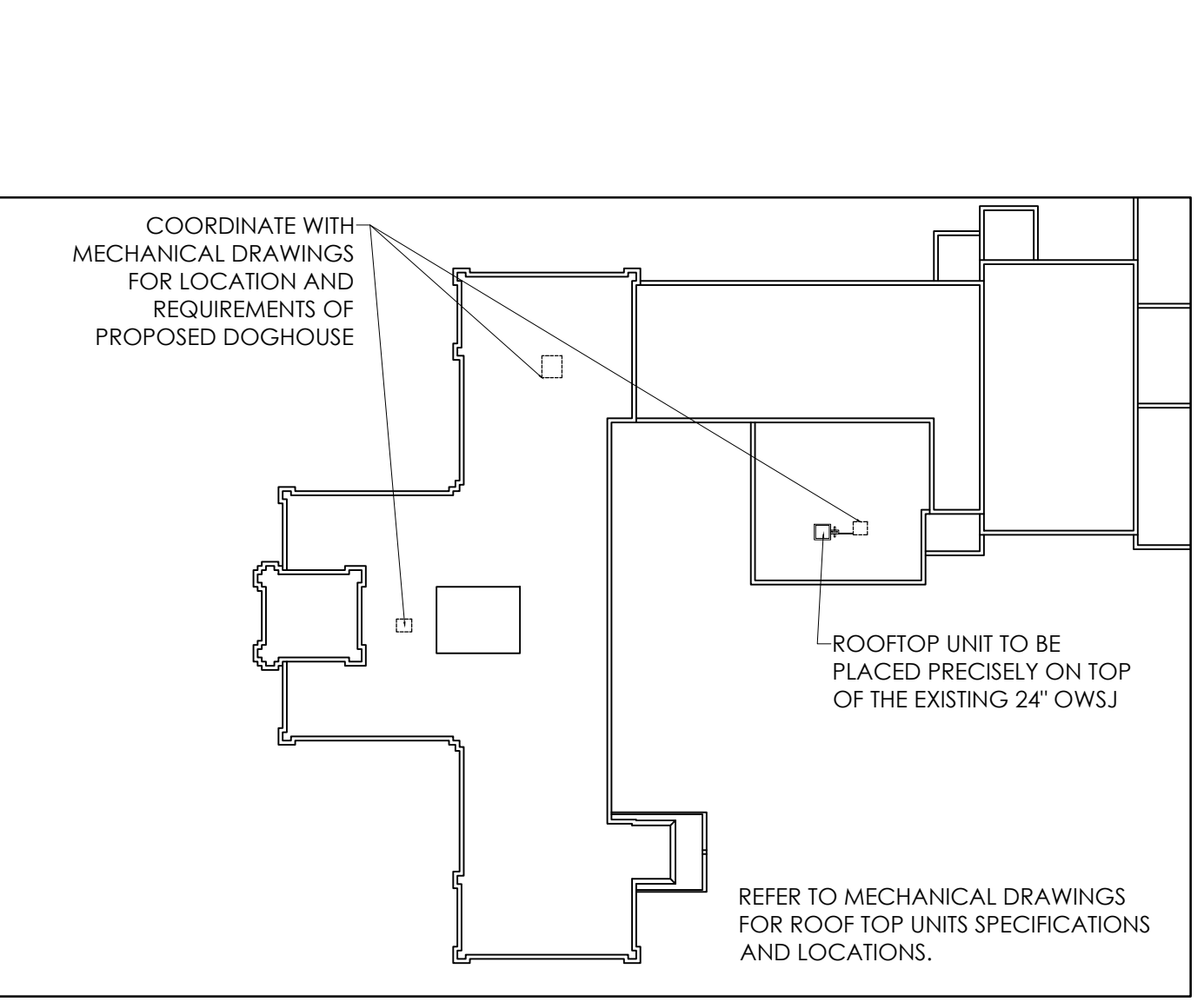
NOTE:

AT LOCATIONS WHERE EXISTING MILLWORK IS REMOVED:

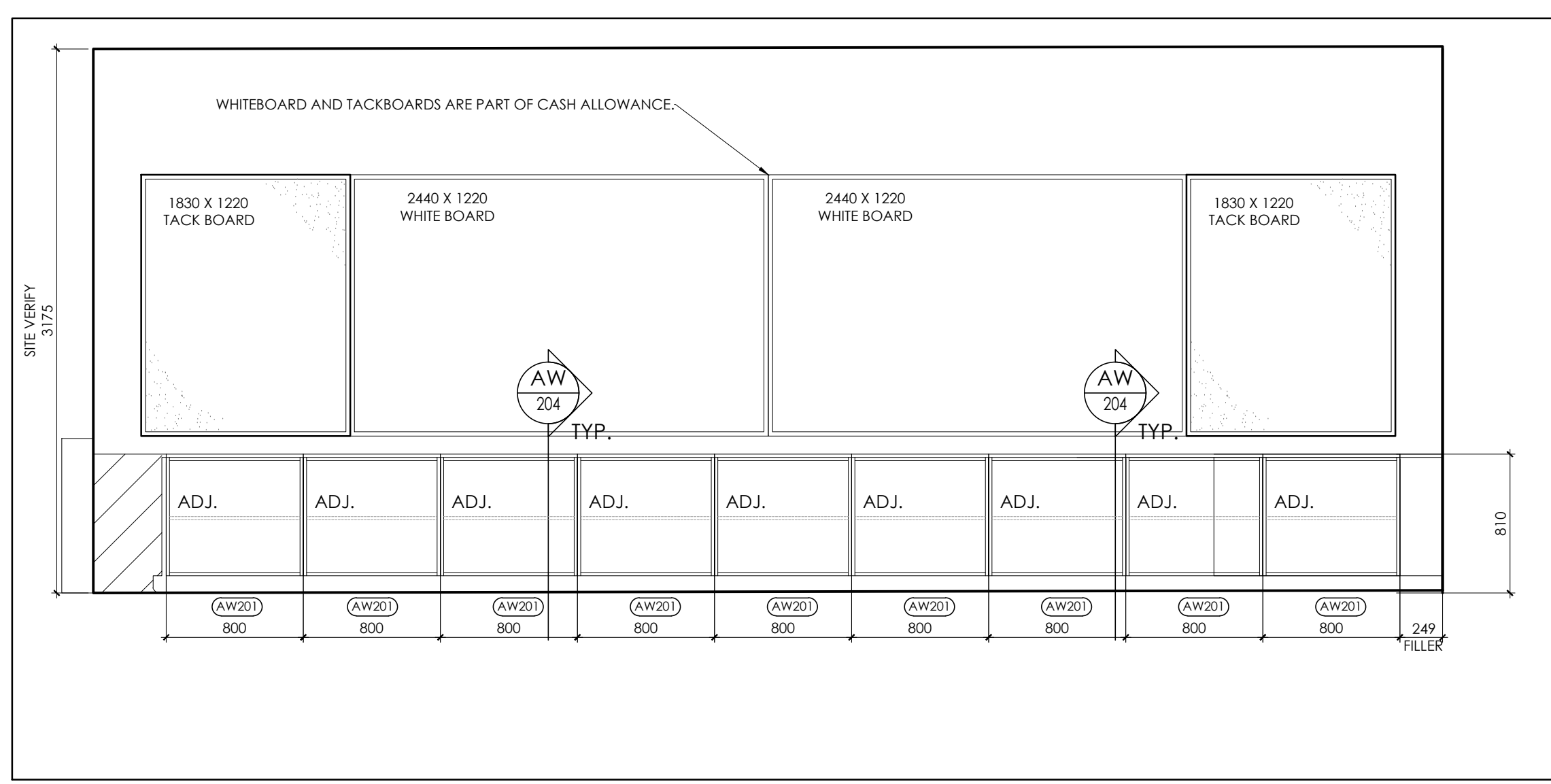
- PATCH AND REPAIR ENTIRE LENGTH OF WALLS
- PAINT WALLS



4 LEVEL 4 - PART D FLOOR PLAN
A2.1
0 1 2 5m



6 ROOF PLAN
A2.1
0 5 10 25m



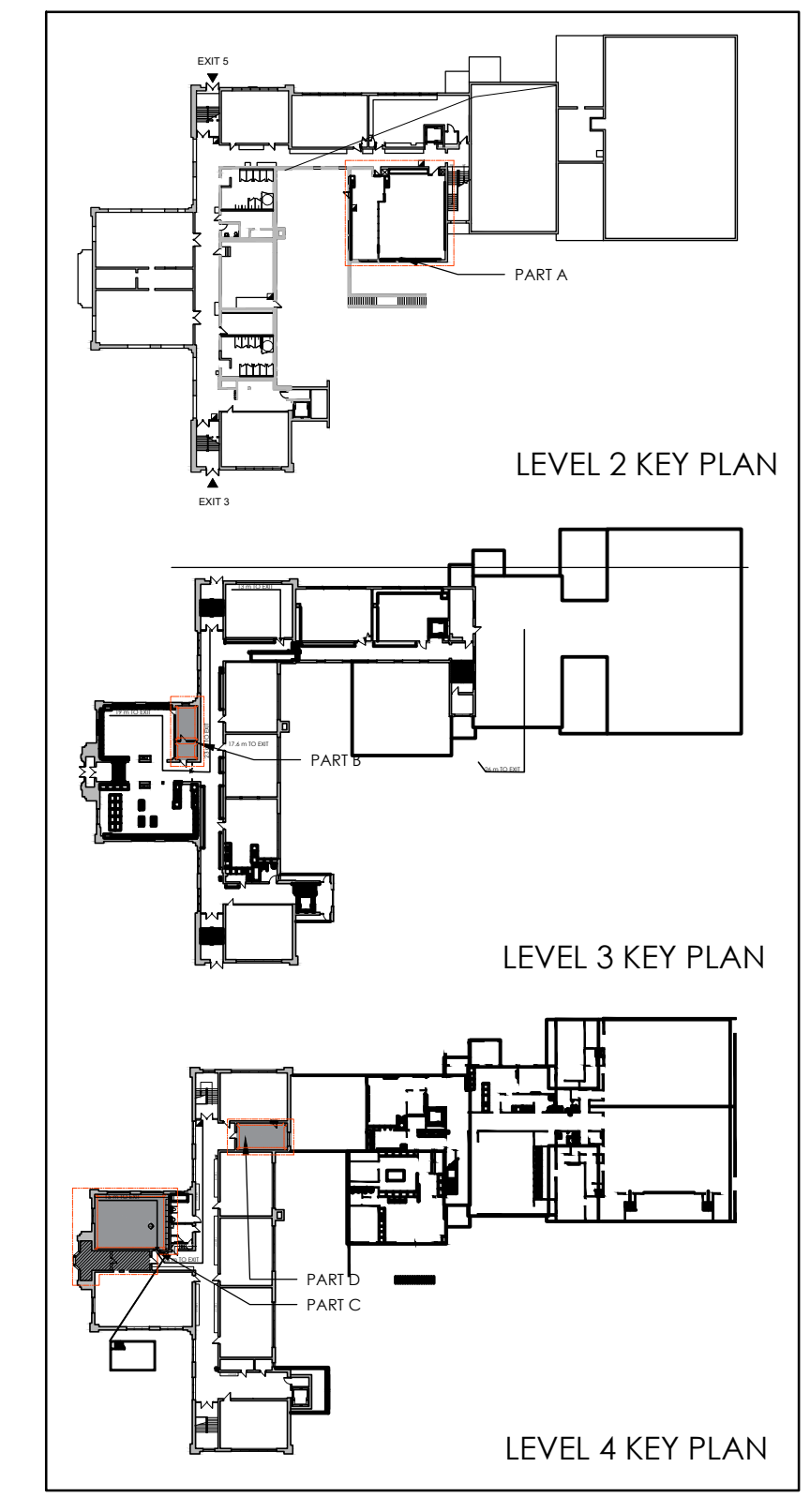
5 CLASSROOMS 22 PROPOSED MILLWORK - SEPARATE PRICE
A2.1
0 10 20 50mm

ROOM NAME	WALLS				FLOOR FINISH	BASE	CEILING CLG.	HT.	RATED	REMARKS (SEE NOTES)
	NORTH	SOUTH	EAST	WEST						
SCIENCE ROOM 5	FIN.	P	P	P	EX.	RB	ACT	VARIABLES	1HR.	MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE ALTERNATE PRICE FOR ACT CEILING. CEILING HEIGHT TO BE COORD. ON SITE. ACT TO BE 1 HR FIRE RATED.
TECH ROOM 5A	FIN.	P	P	P	EX.	RB	ACT	VARIABLES	1HR.	MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE ALTERNATE PRICE FOR ACT CEILING. CEILING HEIGHT TO BE COORD. ON SITE. ACT TO BE 1 HR FIRE RATED.
LIBRARY SEMINAR 305	FIN.	P	P	P	EX.	RB	ACT	VARIABLES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
LIBRARY SEMINAR 305A	FIN.	P	P	P	EX.	RB	ACT	VARIABLES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
SEMINAR 405	FIN.	P	P	P	EX.	RB	GB	VARIABLES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
SEMINAR 405A	FIN.	P	P	P	EX.	RB	GB	VARIABLES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
SEMINAR 401	FIN.	P	P	P	EX.	RB	ACT	VARIABLES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.
CLASSROOM 22	FIN.	P	P	P	SF	RB	ACT	VARIABLES		MAKE GOOD ALL EX. CONDITIONS PRIOR TO REFINISHING. PAINT EX. DOOR FRAMES PROVIDE CARPET FLOOR FINISH. PROVIDE 2 TYPE X DRYWALL BELOW EXISTING STRUCTURE TO MAINTAIN FIRE RATING.

GENERAL NOTES ROOF PLAN NOTES

- CONTRACTOR TO PATCH & REPAIR EX. ROOF DECK AS REQ'D TO PREP EX. SURFACE TO RECEIVE NEW ROOFING. PROVIDE TEMPORARY WATERPROOFING AS REQUIRED UNTIL THE NEW ROOFING MATERIALS ARE APPLIED.
- CONTRACTOR TO RAISE ROOF TOP UNITS AS REQUIRED TO ACHIEVE THE NEW CURB HEIGHT.
- CONTRACTOR TO ENSURE ANY ELECTRICAL/CONTROL CONNECTIONS ARE RE-CONNECTED & OR RE-CONFIGURED TO SUITE NEW ROOF TOP UNIT CURB HEIGHTS AS REQUIRED.
- CONTRACTOR TO DISCONNECT & RECONNECT ANY EXISTING DUCT LINES ATTACHED TO THE EXISTING ROOF TOP UNITS TO ALLOW FOR NEW ROOF INSTALLATION. THIS INCLUDES ANY NEW DUCT CONNECTIONS/EXTENSIONS THAT ARE REQUIRED TO ENSURE PROPER CONNECTION TO THE EXISTING ROOF TOP UNITS & DUCTS.
- CONTRACTOR TO ENSURE ANY GAS LINES CONNECTIONS ARE RE-CONFIGURED TO SUITE NEW ROOF TOP UNITS & CURB HEIGHTS AS WELL AS TO PROVIDE TEMPORARY SUPPORT FOR GAS LINES DURING THE ROOF INSTALLATION. PROVIDE NEW GAS LINE BLOCKING.
- CONTRACTOR TO ENSURE TO PROVIDE PROPER SUPPORT OF EXISTING GAS LINES DURING CONSTRUCTION & PROVIDE NEW GAS LINE SUPPORTS.
- ITEM LOCATIONS SUCH AS PLUMBING VENT STACKS, ELECTRICAL PENETRATIONS, ETC. ARE NOT SHOWN IN DRAWINGS. CONTRACTOR TO ENSURE ALL PIPING/ELEC. & MECH. PENETRATIONS ARE INCLUDED IN SCOPE OF WORK & RE-WORKED.

- CONTRACTOR TO ENSURE ALL TRADES ARE COORDINATED AS REQUIRED TO PERFORM THE REQUIRED WORK
- CONTRACTOR TO ENSURE NO DAMAGE OF ANY KIND TAKES PLACE TO THE EXISTING BUILDING. ANY DAMAGE WILL BE REPAIRED BY THE CONTRACTOR. AT NO COST TO THE OWNER. TO MAKE GOOD WHERE DISTURBED & PROVIDE CLEAN TRANSITIONS TYPICAL.
- CONTRACTOR TO REVIEW EXISTING SITE CONDITIONS & ENSURE THEY ARE FAMILIAR WITH THE PROJECT PRIOR TO PLACING A BID IF POSSIBLE. CONTRACTOR TO TAKE NOTE OF EXISTING MECHANICAL SYSTEMS THAT ARE TO REMAIN & BE MODIFIED AS REQUIRED TO INSTALL THE NEW ROOF.
- CONTRACTOR TO ENSURE TO NOTIFY THE OWNER OF ANY SHUT DOWNS OF THE EXISTING ROOF TOP UNIT A MINIMUM OF 3 DAYS PRIOR TO STARTING THE SCHEDULED WORK SO NOT TO DISRUPT THE DAILY OPERATIONS OF THE FACILITY.
- CONTRACTOR TO COORDINATE WITH OWNER FOR ANY PROPOSED EARLY MORNINGS OR AFTER HOURS WORK.
- CONTRACTOR TO MAINTAIN WATERTIGHT ROOF THROUGHOUT ALL PHASES OF CONSTRUCTION.



REVISIONS

NO.	DATE	PARTICULAR
1	2024.04.19	ISSUED FOR TENDER
2		
3		
4		

NOTES:

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22368

MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9

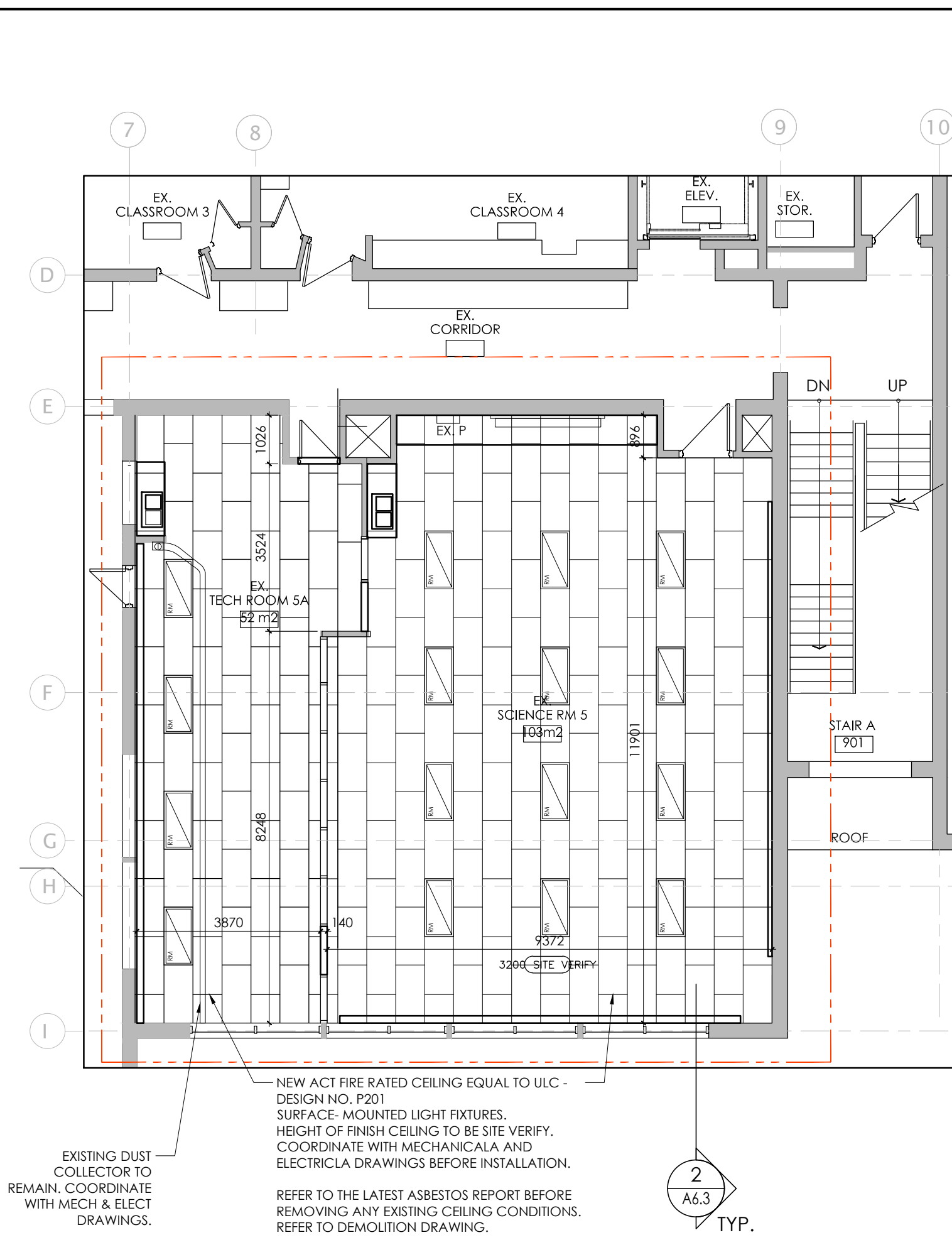
ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

VG ARCHITECTS
THE VENITIN GROUP LTD

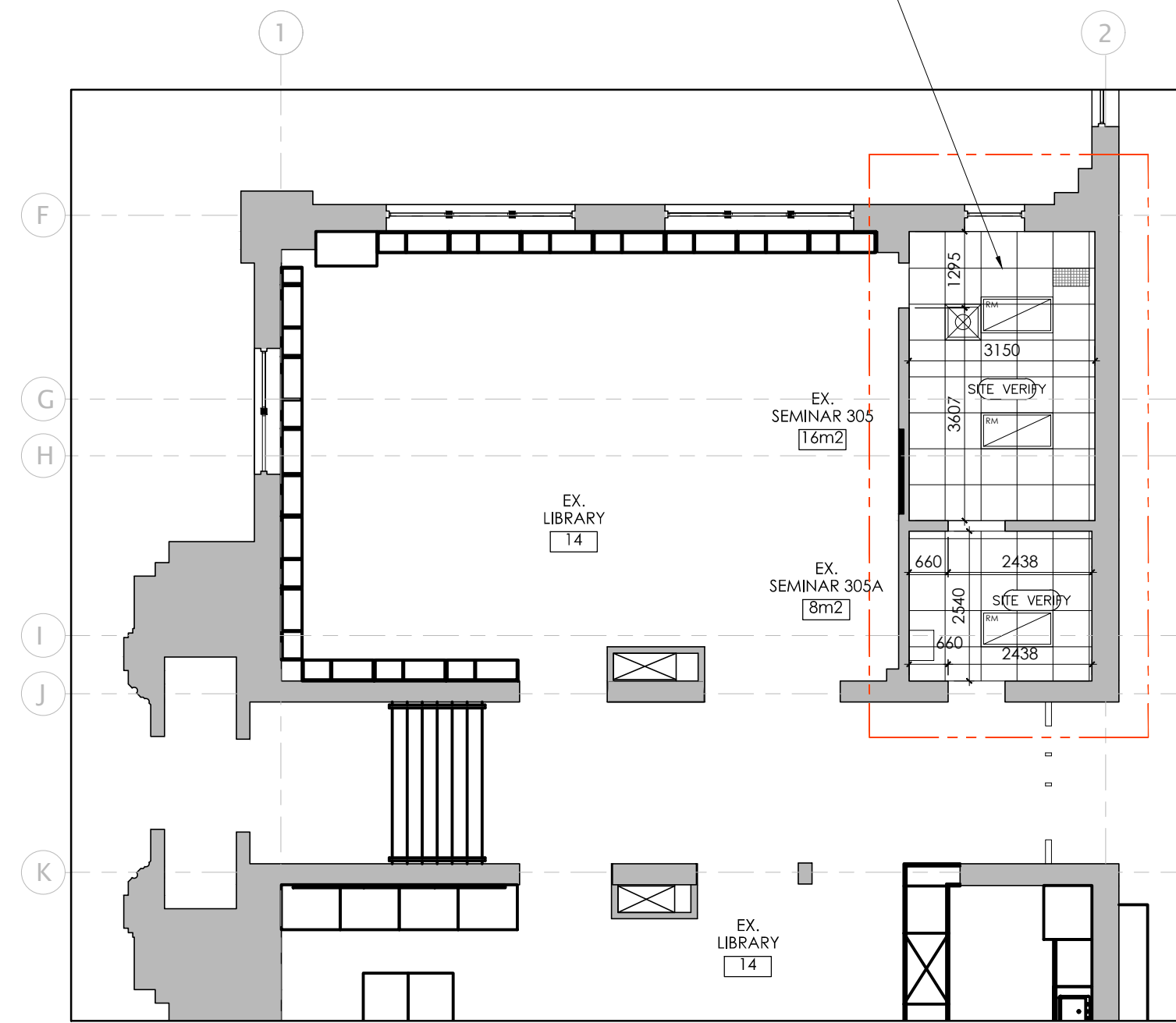
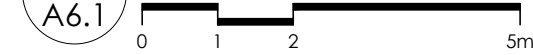
A2.1

DRAWN BY: AM
CHECKED BY: XX

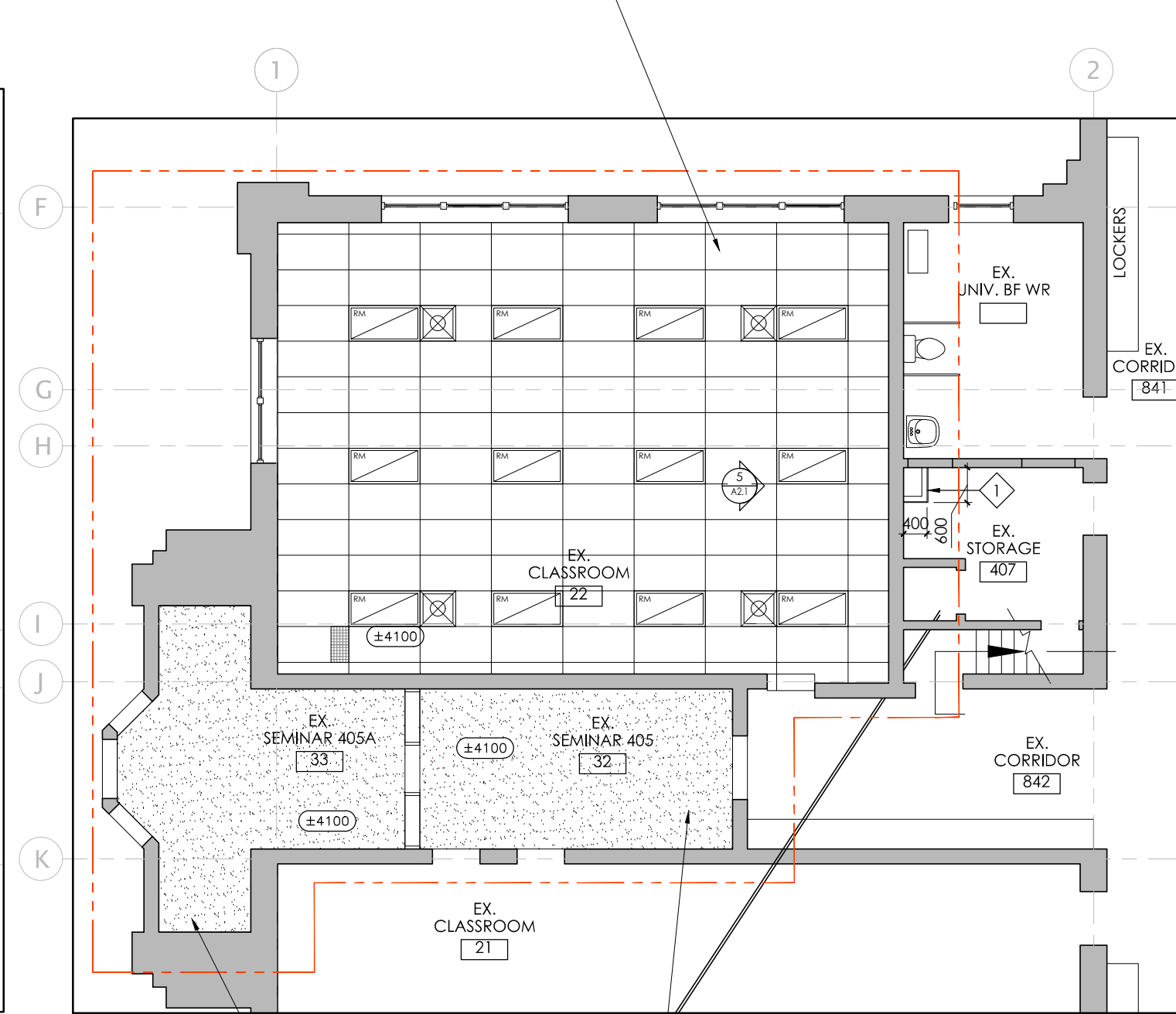
PARTIAL FLOOR PLANS RENOVATION



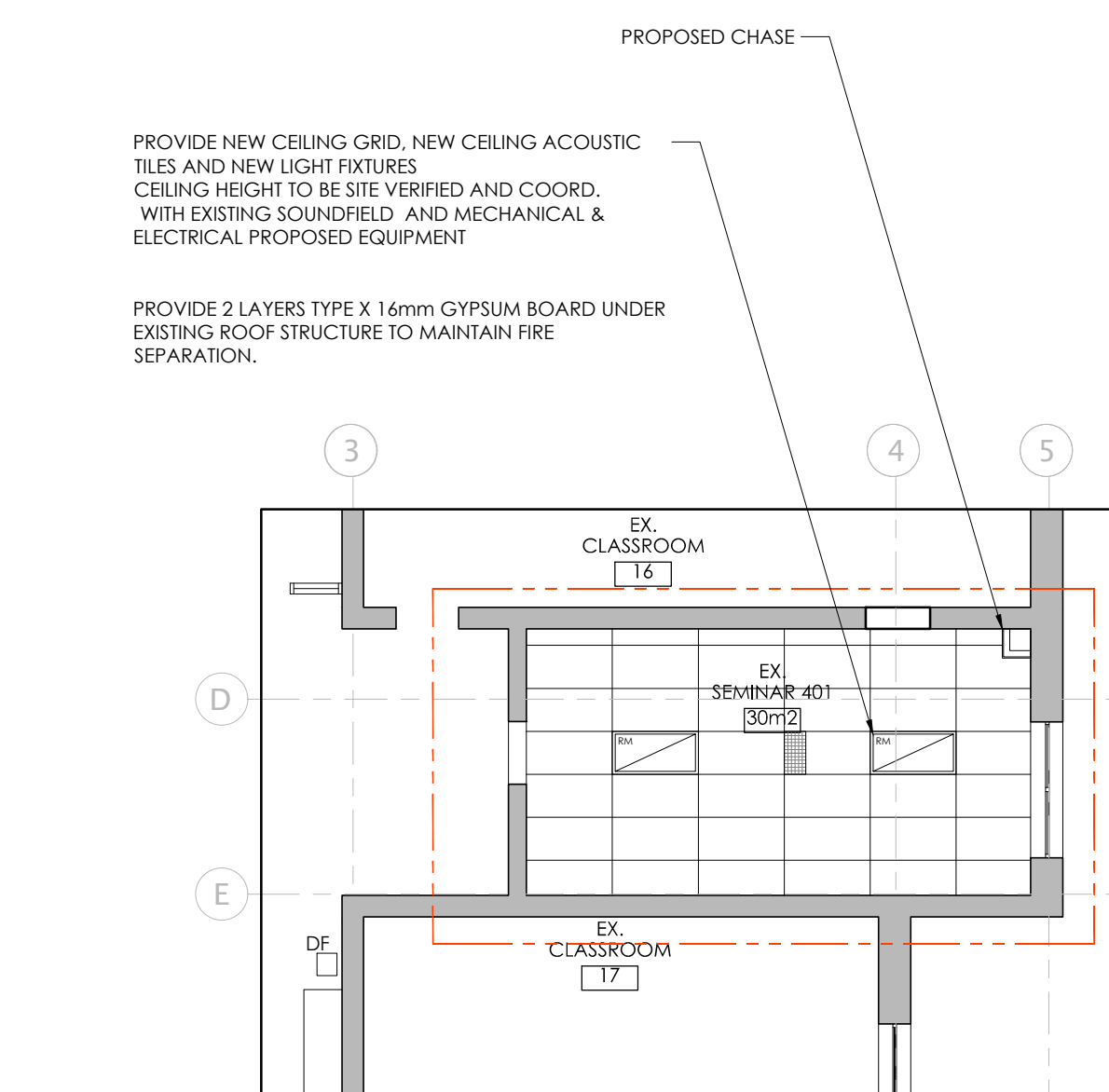
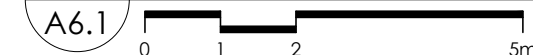
1 LEVEL 2 - PART A CEILING FLOOR PLAN



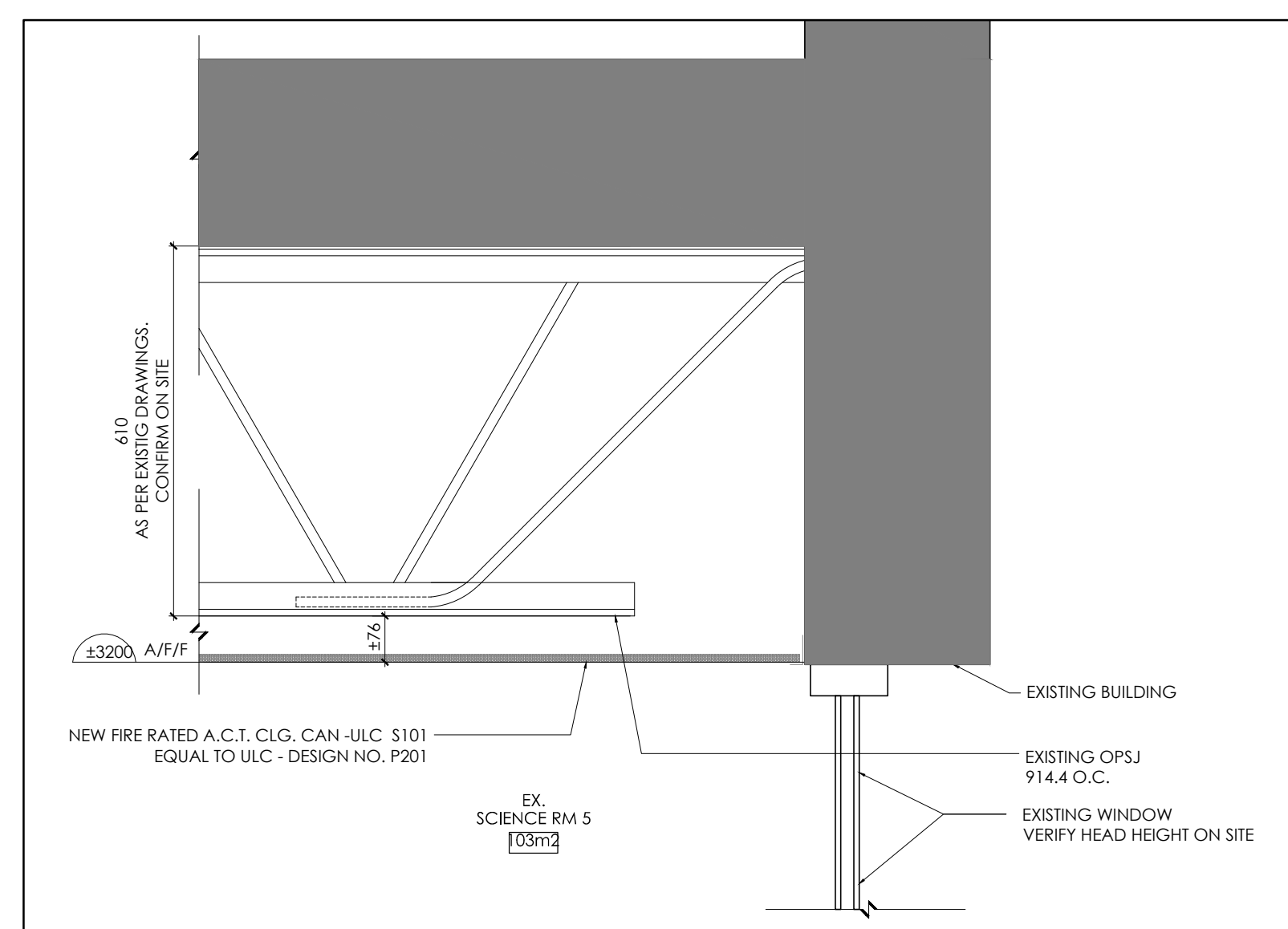
2 LEVEL 3 - PART B CEILING FLOOR PLAN



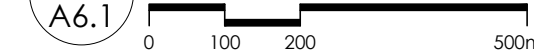
3 LEVEL 4 - PART C CEILING FLOOR PLAN



4 LEVEL 4 - PART D CEILING FLOOR PLAN



5 CEILING DETAIL



SYMBOLS & ABBREV.'S LEGEND

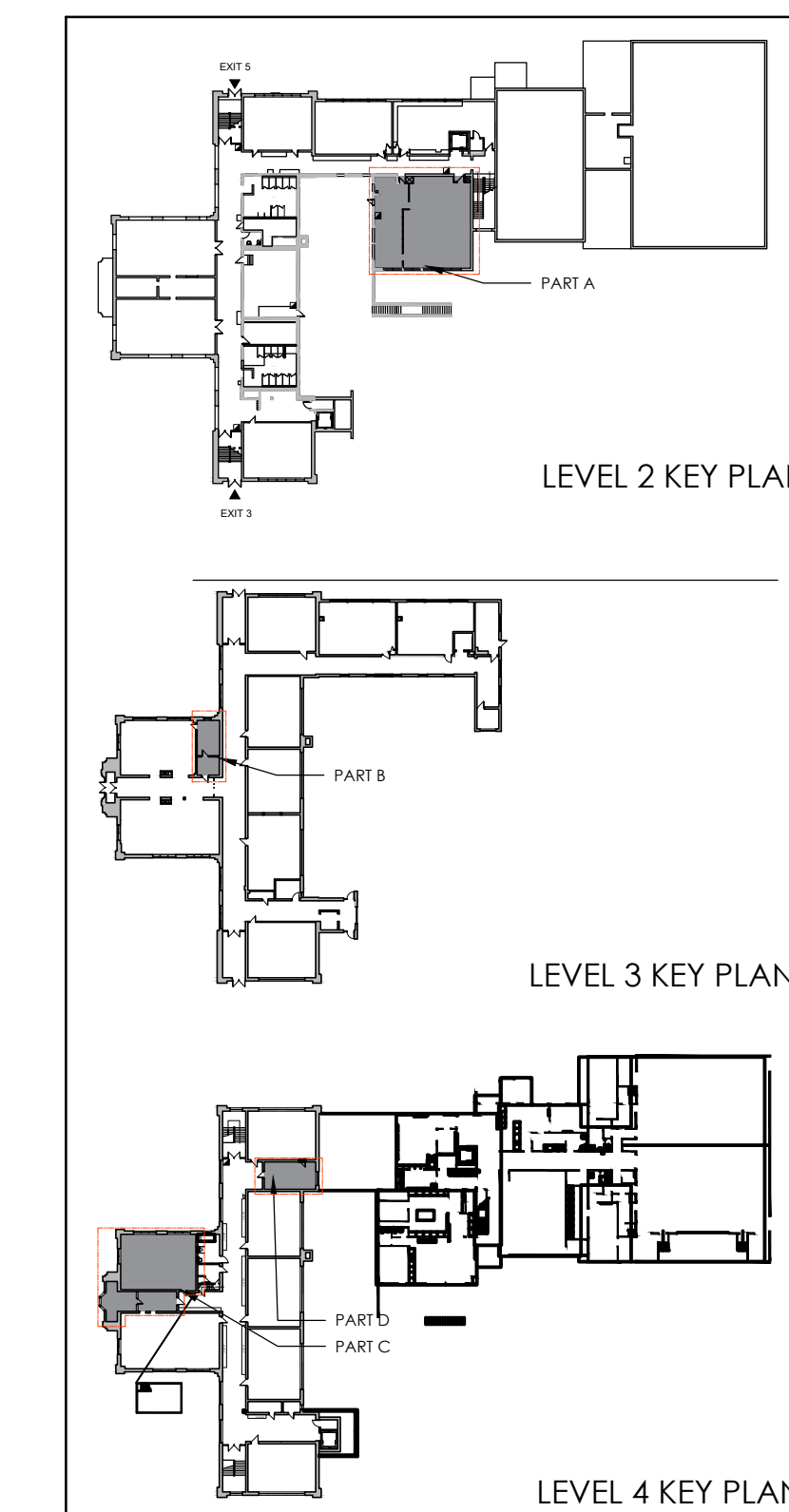
IDENTIFICATION MARKER LEGEND

- CEILING TILES 610x1220 TYPE A.1.1
- CEILING TILES 610x610 TYPE A.1.2
- TRACK LIGHTING
- CEILING MOUNTED LIGHT FIXTURE (PENDANT FLUORESCENT) (COORD. W/ ELEC. DWG.S)
- CEILING MOUNTED LIGHT FIXTURE (RECESSED FLUORESCENT) (COORD. W/ ELEC. DWG.S)
- CEILING HEIGHT (MEASURED FROM A/F/F IN SPECIFIC SPACE NOTED)
- NEW SUPPLY GRILLE (COORD. W/ MECH. DWG.S)
- RETURN GRILLE / EXHAUST VENT (COORD. W/ MECH. DWG.S)

HATCH IDENTIFICATION MARKER LEGEND

- GR-P

- GENERAL NOTES**
- COORD. W/ MECH. & ELEC. DWG.S FOR RESPECTIVE CEILING MID. OR RECESSED ITEMS
 - FINAL LOCATION OF ALL MECH. & ELEC. FIXTURES TO BE CONFIRMED PRIOR TO INSTALL. COORD. ALL MECH. & ELEC. ITEMS W/ ARCH. DWGS. & REPORT ANY DISCREPANCIES PRIOR TO ANY WORK
 - ALL CEILING HEIGHTS TO BE COORDINATED ON SITE
 - UNLESS DIMENSIONED OTHERWISE, CEILING TILES TO BE STARTED AS SHOWN FROM THE CENTER POINT OF ROOMS TYP.
 - STEEL BEAMS & POSTS WHERE EXPOSED TO BE PAINTED C/W INTUMESCENT COATING
 - FOR LIGHTING IN EXPOSED CEILING AREAS REFER TO ELECTRICAL DRAWINGS
 - COORDINATE ON SITE WITH EXISTING MECHANICAL, ELECTRICAL AND SERVICE SYSTEMS BEFORE INSTALLING CEILING GRID.
 - NOT ALL MECHANICAL AND ELECTRICAL EQUIPMENT ARE SHOWN. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS
 - ALL MECHANICAL AND ELECTRICAL FIXTURES TO BE REMOVED AND REINSTALL HAS TO BE COORDINATED AND VERIFY ON SITE AND COORDINATED WITH MECHANICAL AND ELECTRICAL DWGS
 - SHOP DWG.S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE); ALSO AIR GRILLES ARE TO REFERENCE THE RM. # IF THEY ARE INSTALLED (& ANY OTHER ITEMS TYP.)
 - ALL GYP BD. CEILINGS ARE TO RECEIVE 16mm RESILIENT CHANNELS @ 400MM O/C MAX. & ANY ASSOCIATED BLOCKING TO ACHIEVE A UNIFORM / FLAT CEILING SURFACE
 - ALL ITEMS ARE TO BE SECURED TO STRUCTURE ABOVE. IN CASE OF INTERFERENCE WITH DUCTWORK ABOVE PROVIDE SUPPORT USING UNISTRUT FRAMING OR EQUAL.



REVISIONS

NO.	DATE	PARTICULAR
1	2024.04.19	ISSUED FOR TENDER
2		
3		
4		

NOTES:

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22368
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

VG ARCHITECTS
THE VENIN GROUP LTD

A6.1

All dimensions and measurements must be checked and verified by the General Contractor. Reproduction of drawings and related documents in whole or in part is forbidden without written permission of The Venin Group.

PARTIAL REFLECTED CEILING PLANS

UNIT VENTILATOR SCHEDULE																					
Item	Type	Capacity		Min. O.A. Position (cfm)	SP in. wc	Size hp	Heating					Cooling		Electrical		Manufacturer	Model	Remarks			
		tons	cfm				Coil Rows	Coil Rows	Capacity MBH	GPM	Medium	Total Cap Mbh	Sens. Cap Mbh	Voltage	MCA				MOCp		
UV-12	VERTICAL UNIT VENTILATOR	4.0	1600	640	0.5	3/4	WATER	2	150	130	64.6	6.6	DX	43.8	32.3	120/1/60	12.6	20	ENGINEERED AIR	RUV-1600	3-SPEED ECM MOTOR, FACE & BYPASS HEATING COIL, 3-WAY VALVE AT HEATING COIL, 250MM INSULATED REAR PIPE CHASE COLOR-MATCHED TOP EXTENSION FOR THE CABINET, OF SIZE TO SUIT THE CEILING HEIGHT, DIGITAL READY CONTROLS PACKAGE, REAR OA INTAKE DUCT COLLAR, TWO (2) FULL-DEPTH END PANELS (CUT-OUTS TO BE COMPLETED ON SITE TO SUIT DRAFTSTOP DOWNDRAFT PROTECTION FEATURE & PIPING TUNNEL) C/W MOUNTING HARDWARE & KICKPLATE (CONFIRM CUT-OUTS WITH MANUFACTURER), BOTTOM FRONT RA INLET GRILLE & DRAFTSTOP DOWNDRAFT PROTECTION RA INLET, UNIT MOUNTED DISCONNECT (INSIDE ENCLOSURE), HEATING COIL FREEZEZSTAT (FACTORY INSTALLED & WIRED), ADJUSTABLE LEG LEVELLERS, PUTTY BEIGE CABINET COLOUR, TAMPER-RESISTANT FASTENERS ON ALL ACCESS DOORS, REPLACEMENT FILTERS C/W ONE EXTRA SET, SECONDARY OVERFLOW DRAIN CONNECTION FOR CONDENSATE PAN, SET FAN TO MEDIUM SPEED, PROVIDE A DECORATIVE EXTERIOR ALUMINUM WALL GRILLE, CONSTRUCTION OF HEAVY GAUGE ALUMINUM W/ RECTANGULAR HOLES TO MATCH LOUVER BLADES SPACING TO MAXIMIZE THE AIR OPENING, C/W CONDENSATE PUMP INSTALLED IN UNIT.

* ACCEPTABLE MANUFACTURERS: DAIKIN, TRANE, ENGINEERED AIR
 NOTE: CONTRACTOR RESPONSIBLE TO PROVIDE TEMPORARY HEAT IN ROOMS (TO SATISFACTION OF OWNER & CONSULTANT) IF UNIT VENTILATORS ARE NOT INSTALLED IN TIME FOR HEATING SEASON.
 SHOP DRAWING SUBMISSION/UNIT DELIVERY REQUIREMENTS
 - SHOP DRAWINGS SHALL BE SUBMITTED TO THE CONSULTANT WITHIN TWO (2) WEEKS OF AWARD OF CONTRACT.
 - SHOP DRAWINGS SHALL BE REVIEWED/RETURNED BY THE CONSULTANT WITHIN ONE (1) WEEK OF SUBMISSION.
 - CONTRACTOR TO ORDER EQUIPMENT FROM MANUFACTURER IMMEDIATELY UPON RETURNED/APPROVED SHOP DRAWINGS.
 - THIS CONTRACTOR SHALL CO-ORDINATE WITH THE MANUFACTURER TO ENSURE UNIT VENTILATOR EQUIPMENT IS DELIVERED TO SITE AND INSTALLED BY AUGUST, 2024. INCLUDE IN TENDER PRICE FOR PREMIUM COSTS ASSOCIATED WITH MANUFACTURER'S RUSH/ACCELERATED DELIVERY.

MECHANICAL LEGEND			
Item	Description	Item	Description
—	CUT EXISTING & CONNECT NEW PIPING	←	RISER VALVE
→	FLOW DIRECTION	EX	EXISTING DUCT (SIZE AS INDICATED)
—	DOMESTIC COLD WATER PIPING	BV	BALANCING VALVE
—	DOMESTIC HOT WATER PIPING	TCV	TEMPERATURE CONTROL VALVE
—	DOMESTIC HOT WATER RECIRC. PIPING	CO	FLOOR CLEANOUT
—EX-SAN—	EXISTING SANITARY PIPING ABOVE FLOOR	I CO	LINE CLEANOUT
—EX-SAN—	EXISTING SANITARY PIPING BELOW FLOOR	⊗	THERMOSTAT (WITH OR WITHOUT GUARD)
—SAN—	SANITARY PIPING ABOVE FLOOR	⊙	CARBON DIOXIDE (CO2) SENSOR (WITH OR WITHOUT GUARD)
—SAN—	SANITARY PIPING BELOW FLOOR		TURNING VANES
—PD—CD—	PUMPED CONDENSATE PIPING	—	SUPPLY AIR DUCT
—HWS—	HEATING WATER SUPPLY PIPING	—	RETURN/EXHAUST AIR DUCT
—HWR—	HEATING WATER RETURN PIPING	—	ACOUSTIC DUCT LINING
—G—	NATURAL GAS PIPING	—	BRANCH LINE SPIN-IN COLLAR C/W BALANCING DAMPER
—RL—	REFRIGERANT LIQUID PIPING	—	BALANCING DAMPER
—RS—	REFRIGERANT SUCTION PIPING	—	BALANCING DAMPER
FD	FLOOR DRAIN	—	OPPOSED BLADE DAMPER
—	TRAP PRIMER	—	MOTORIZED DAMPER (OPPOSED BLADE)
—	TEE CONNECTION	—	FID DAMPER
—	PIPE DOWN	—	BACKDRAFT DAMPER
—	PIPE UP	—	FLEXIBLE ROUND DUCT
—	FLEXIBLE CONNECTION	—	RIGID ROUND DUCT
—	REDUCER/INCREASER	—	DIFFUSER/GRILLE, SIZE (imp), TYPE & CAPACITY (cfm)
—	CHECK VALVE	—	HYDRONIC HEATING SIZE, TYPE & CAPACITY
—	UNION	—	ACCESS DOOR
—	STRAINER	—	EXPANSION COMPENSATOR/JOINT
—	PRESSURE & TEMPERATURE TEST STATION	—	RETURN IN CABINET
—	VACUUM BREAKER	—	RETURN IN CABINET
—	SCREWED OR WELDED PIPE CAP	—	ABOVE FINISHED FLOOR
—	BALL VALVE	—	ABOVE FINISHED ROOF
—	AIR VENT	—	CONNECT TO EXISTING

LOUVERED PENTHOUSE SCHEDULE						
No.	Type	CFM	SP	Throat in.	Dimensions (LxWxH) in.	# of Louvers
PH-1	EXHAUST	1200	0.03	32x20	40x28x20	2

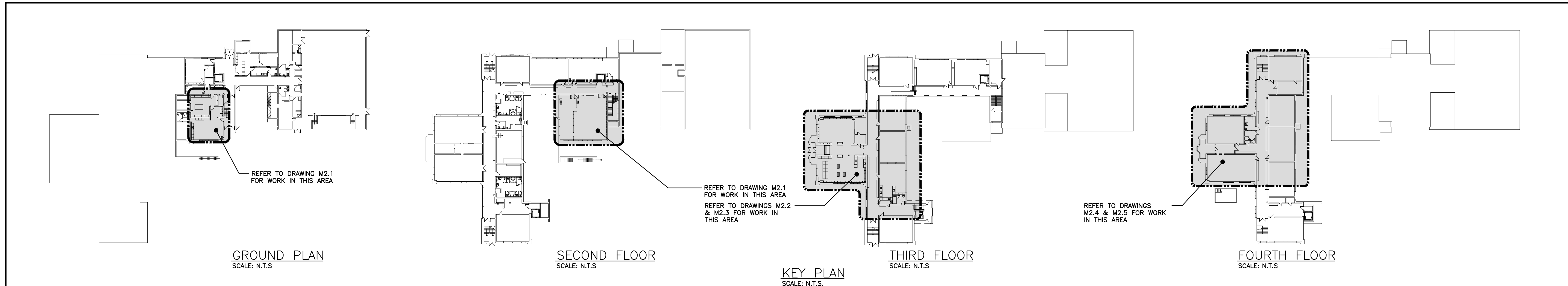
AIR COOLED CONDENSING UNIT SCHEDULE																
Item	Type	Tons	Capacity MBH	Compressor			Refrig.	Sat. Suction Temp °F	No. of Cond. Fans	Electrical			Unit Weight lbs	Manufacturer	Model	Remarks
				Type	No.	No. Stages				Voltage	MCA	MOCp				
CU-2	OUTDOOR ROOF MOUNTED	2.0	24	SCROLL	1	1	R410A	52	1	208/1/60	19.6	30	160±	LG	ARUNO24GSS4	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-3	OUTDOOR ROOF MOUNTED	2.0	24	SCROLL	1	1	R410A	52	1	208/1/60	19.6	30	160±	LG	ARUNO24GSS4	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-4	OUTDOOR ROOF MOUNTED	2.0	24	SCROLL	1	1	R410A	52	1	208/1/60	19.6	30	160±	LG	ARUNO24GSS4	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-5	OUTDOOR ROOF MOUNTED	2.0	24	SCROLL	1	1	R410A	52	1	208/1/60	19.6	30	160±	LG	ARUNO24GSS4	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-6	OUTDOOR ROOF MOUNTED	2.0	24	SCROLL	1	1	R410A	52	1	208/1/60	19.6	30	160±	LG	ARUNO24GSS4	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-12	OUTDOOR ROOF MOUNTED	4.0	48	SCROLL	1	1	R410A	52	1	208/1/60	40.0	30	225±	DAIKIN	DX16SA048	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL. CONNECT TO UV-12.

* ACCEPTABLE MANUFACTURERS: DAIKIN, TRANE, MITSUBISHI

GRILLE SCHEDULE					
Item	Type	Manufacturer & Model	Finish	Remarks	
D1	SQUARE CEILING SUPPLY	KRUEGER 1400A	BRITISH WHITE	4-CONE, STEEL, SLIDING ADJUSTABLE NOT ACCEPTABLE	
R1	CEILING RETURN	KRUEGER EGC5	BRITISH WHITE	ALUMINUM, C/W CHANNEL FRAME	
R2	CEILING RETURN/EXHAUST	KRUEGER S580	BRITISH WHITE	ALUMINUM, C/W SCREWED FASTENING, 1/2" BLADE SPACING, FIXED DEFLECTION	

SPLIT AIR CONDITIONING UNIT SCHEDULE										
Item	Capacity (Tons)	Refrig.	Unit Weight lbs	Max. O.A (cfm)	MCA	MOCp	Voltage	Manufacturer & Model		Remarks
								Manufacturer & Model	Manufacturer & Model	
DS-2	1	R410A	55±	60	1	15	208/1/60	LG ARNU123TN44	LG ARNU123TN44	INTERLOCK TO CU-1. PROVIDE POWER FROM CU-2, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK410+420 VENTILATION KIT, & CONDENSATE PUMP
DS-3	1	R410A	55±	60	1	15	208/1/60	LG ARNU123TN44	LG ARNU123TN44	INTERLOCK TO CU-2. PROVIDE POWER FROM CU-3, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK410+420 VENTILATION KIT, & CONDENSATE PUMP
DS-4	1	R410A	55±	60	1	15	208/1/60	LG ARNU123TN44	LG ARNU123TN44	INTERLOCK TO CU-3. PROVIDE POWER FROM CU-4, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK410+420 VENTILATION KIT, & CONDENSATE PUMP
DS-5	1	R410A	55±	60	1	15	208/1/60	LG ARNU123TN44	LG ARNU123TN44	INTERLOCK TO CU-4. PROVIDE POWER FROM CU-5, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK410+420 VENTILATION KIT, & CONDENSATE PUMP
DS-6	1	R410A	55±	60	1	15	208/1/60	LG ARNU123TN44	LG ARNU123TN44	INTERLOCK TO CU-5. PROVIDE POWER FROM CU-6, C/W PT-UMCI GRILLE, PTDCQ COVER, PTVK410+420 VENTILATION KIT, & CONDENSATE PUMP

PLUMBING FIXTURE SCHEDULE													
Item	Type	Connection Sizes (mm)				Vent	Acceptable Manufacturer	Fixture		Trim		Accessories	
		HW	CW	DW	Drain			Fixture Description	Acceptable Manufacturer	Trim Description	Acceptable Manufacturer	Accessory Description	
HD-1	HUB DRAIN				NOTED	40	ZURN Z415 C/W Z-400-S MIFAB F1100-C-DD CONTOUR C2000-F WATTS FD-100-C-DD	GENERAL DUTY HUB DRAIN CAST IRON BODY, CLAMPING COLLAR, NICKEL-BRONZE ADJUSTABLE HEAD HUB, C/W TRAP PRIMER.					



ISSUANCES

NO.	DATE	PARTICULAR
1	24.04.17	ISSUED FOR TENDER

REVISIONS

NO.	DATE	PARTICULAR
-----	------	------------

CLIENT:
 WATERLOO REGION DISTRICT SCHOOL BOARD
 51 ARDELT AVENUE
 KITCHENER, ONTARIO
 N2C 2R5

PROJECT:
 22060
 MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
 KITCHENER, ON
 N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
 KEY TO DETAIL LOCATION:
 A - DETAIL NO.
 B - DETAIL NO. ORIGIN

Consulating Engineers Inc.
 MECHANICAL | ELECTRICAL | AQUATIC
 55 Northland Road, Waterloo, ON, N3V 1Y8
 Phone: 519-775-3555 Website: delassociates.ca
 Project Number: 23282

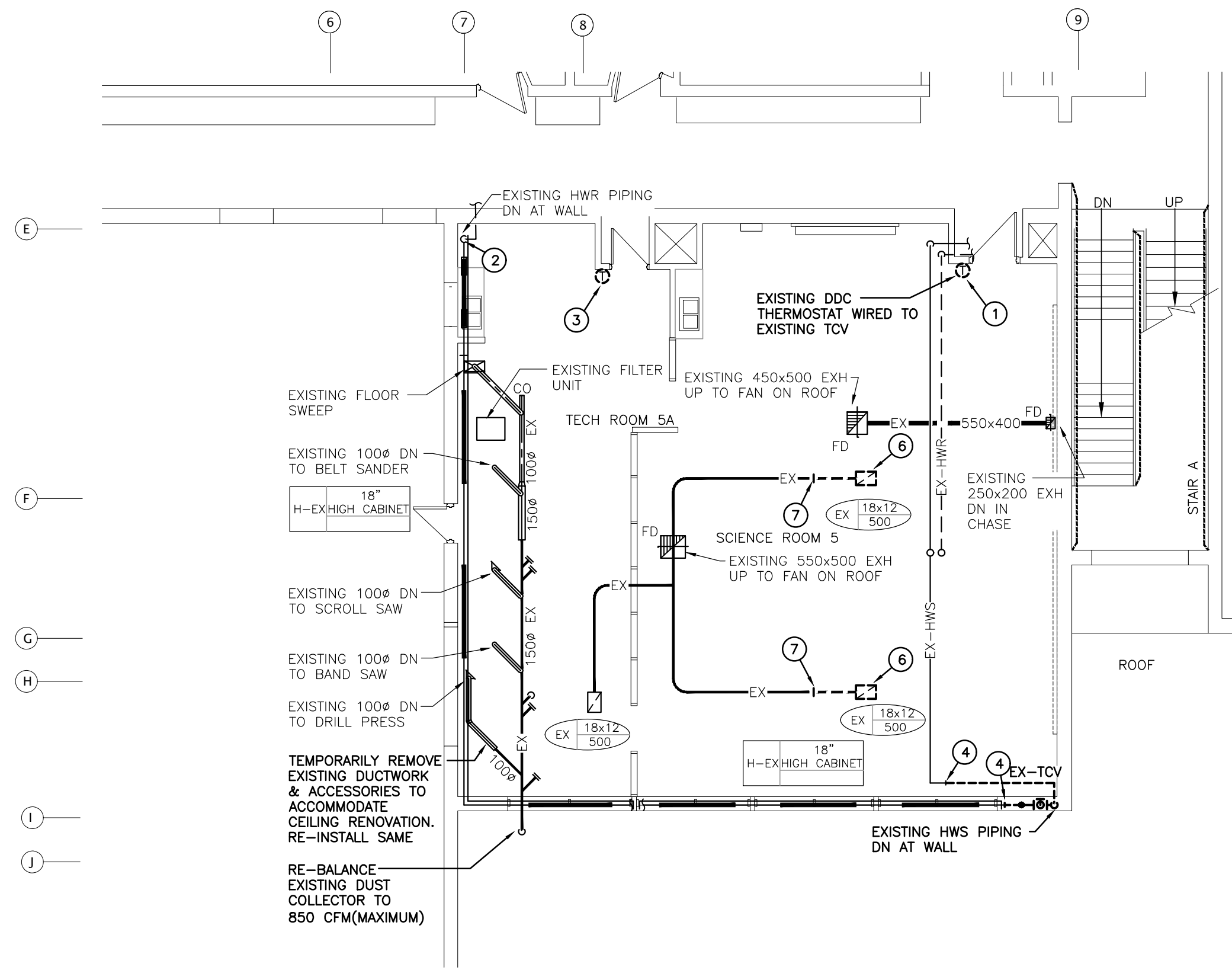
DEI
 M.B. WHITE
 10014907
 17 Apr 24
 LICENSED PROFESSIONAL ENGINEER
 PROVINCE OF ONTARIO

APR 17, 2024, 2:39pm By: apathok

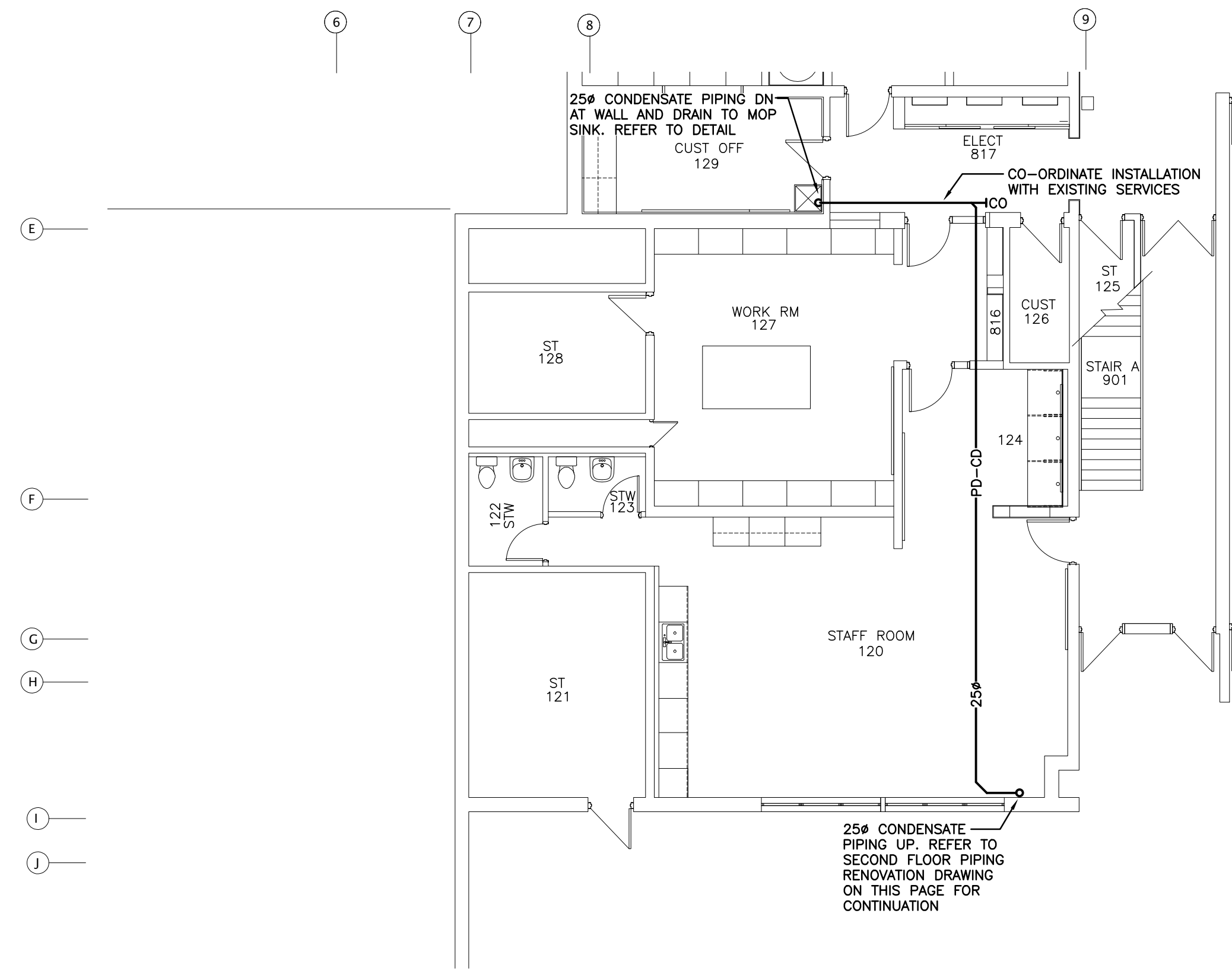
M1.1

DRAWN BY: _____ CHECKED BY: _____

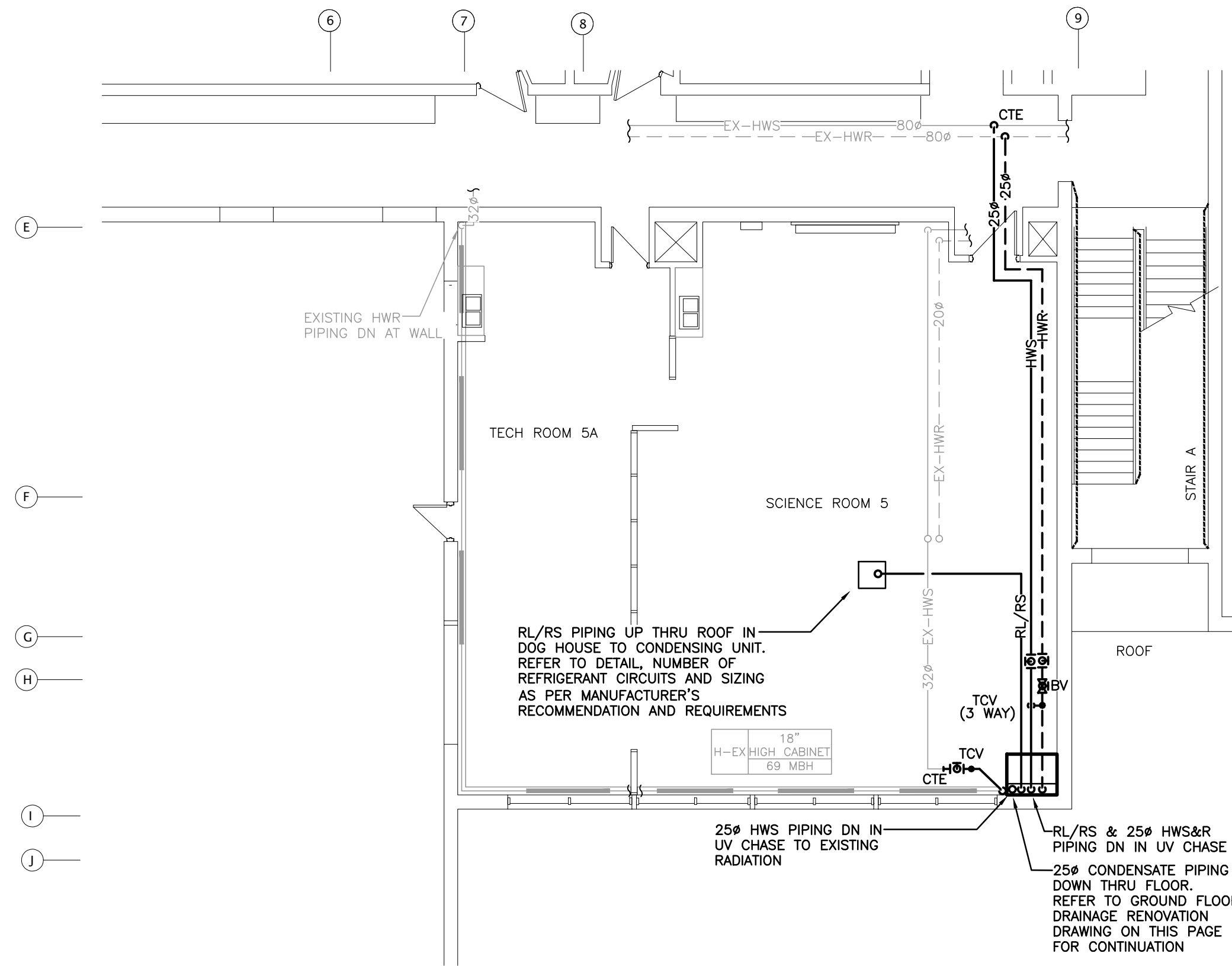
LEGEND, SCHEDULES & KEY PLAN



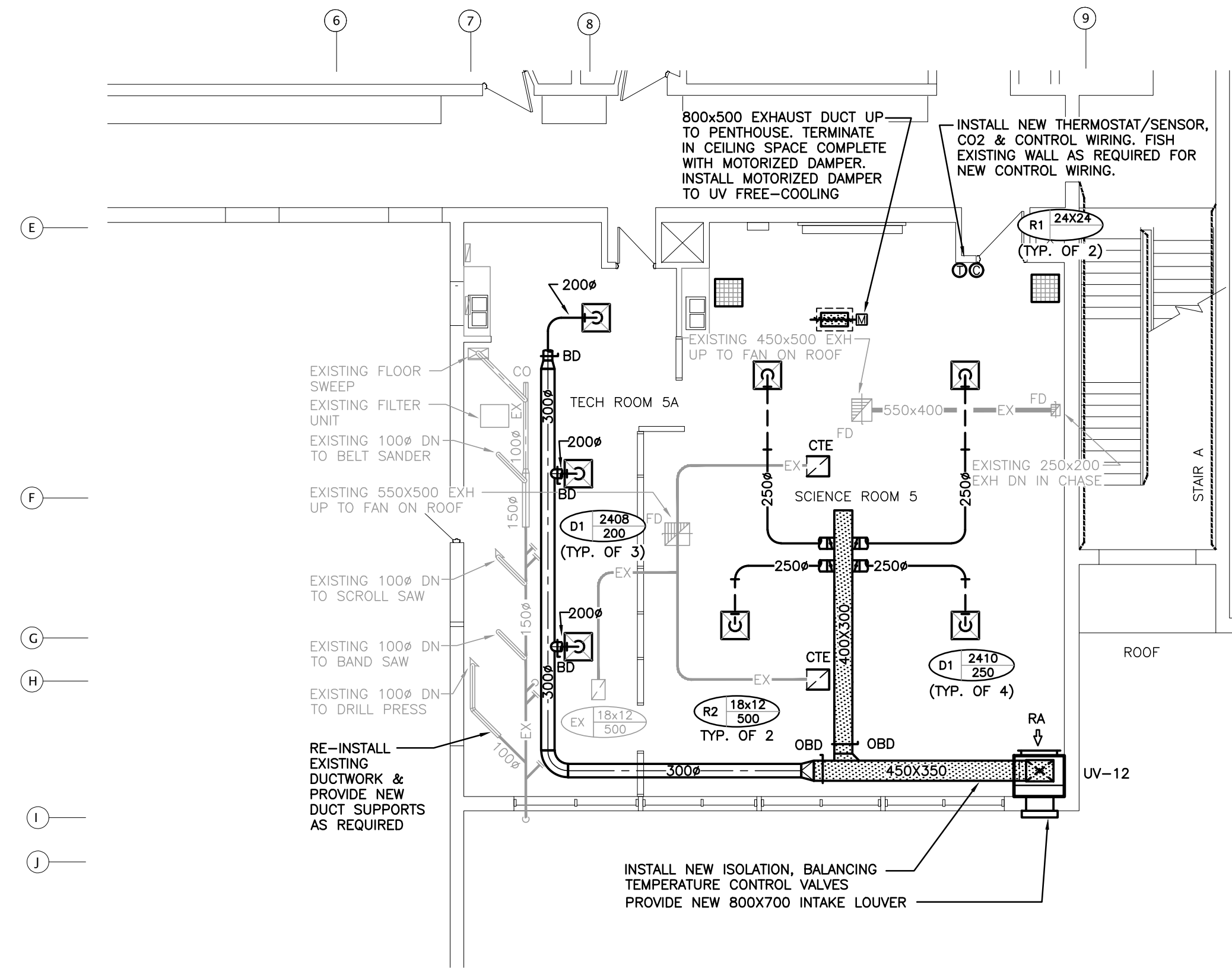
SECOND FLOOR PART PLAN - DEMOLITION
SCALE: 1:100



GROUND FLOOR PART PLAN - RENOVATION - DRAINAGE
SCALE: 1:100



SECOND FLOOR PART PLAN - RENOVATION - PIPING
SCALE: 1:100



SECOND FLOOR PART PLAN - RENOVATION- DUCTWORK
SCALE: 1:100

GENERAL DEMOLITION NOTES

- EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- THIS CONTRACTOR IS TO REMOVE & REPLACE CEILINGS AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.
- CONTRACTOR TO CARRY IN THEIR PRICING TO DRAIN SYSTEM OR FREEZE PIPING TO COMPLETE WORK

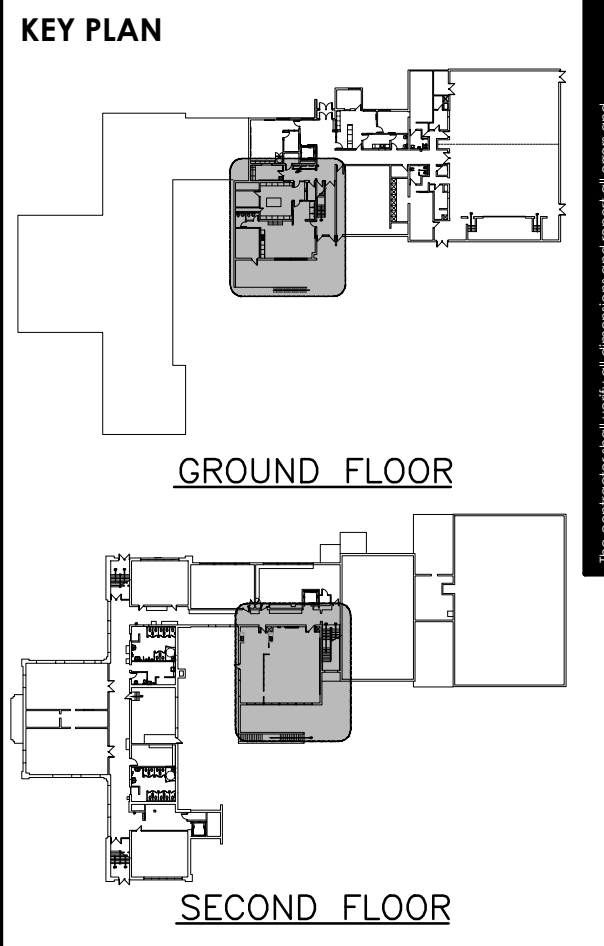
SPECIFIC DEMOLITION NOTES

- EXISTING THERMOSTAT TO BE REMOVED COMPLETE. PREPARE CONTROL WIRING FOR NEW DDC THERMOSTAT.
- EXISTING ISOLATION, BALANCING & TEMPERATURE CONTROL VALVES TO BE REMOVED & REPLACED WITH NEW.
- EXISTING PNEUMATIC THERMOSTAT TO BE REMOVED COMPLETE. EXISTING CONTROL TUBING TO BE REMOVED BACK TO SOURCE. CRIMP/SOLDER EXISTING ENDS IN CONCEALED LOCATION AS REQUIRED.
- EXISTING HWS/HWR PIPING TO BE CUT & REMOVED BEYOND COMPLETE.
- EXISTING DUCTWORK TO BE CUT & CAPPED AND REMOVED BEYOND COMPLETE.
- EXISTING GRILLE/DIFFUSER TO BE REMOVED COMPLETE.
- EXISTING DUCTWORK TO BE CUT & REMOVED BEYOND COMPLETE.

GENERAL RENOVATION NOTES

- CO-ORDINATE ANY OWSJ BRIDGING RELOCATION OR REMOVAL/REPLACEMENT WITH THE GENERAL CONTRACTOR. PAY ALL COSTS REQUIRED TO MODIFY BRIDGING FOR INSTALLATION OF DUCTWORK.
- SANITARY VENT PIPING IS NOT SHOWN. PROVIDE ALL NECESSARY VENT PIPING FROM ALL FIXTURES FOR A COMPLETE SYSTEM TO ALL LOCAL PLUMBING CODE & LOCAL AUTHORITY REQUIREMENTS, CONNECTED TO EXISTING VENTS OR NEW VENTS AS REQUIRED. CO-ORDINATE VENT LOCATION(S) WITH GENERAL CONTRACTOR. MAINTAIN MINIMUM 3700mm (12'-0") FROM ANY AIR INLET. INSTALL VENT PIPING HIGH IN JOIST SPACE.
- REFER TO ARCHITECTURAL CEILING PLANS FOR GRILLES/DIFFUSERS LOCATIONS. CO-ORDINATE FINAL LOCATION ON SITE.

ISSUANCES		
NO.	DATE	PARTICULAR
1	24.04.17	ISSUED FOR TENDER



CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22060
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON, N3V 1Y8
Phone: 519-725-3555, Website: deassociates.ca
Project Number: 23282

LICENSED PROFESSIONAL ENGINEER
17 Apr 24
M.B. WHITE
100149074
PROVINCE OF ONTARIO

DEI

Plot Date: Apr 17, 2024 - 2:39pm By: apathok

File name: C:\Users\kapatthok\AppData\Local\Temp\AcP\Pub\20952\23282 M2.1 Demo & Renov.dwg

MECHANICAL | ELECTRICAL | AQUATIC

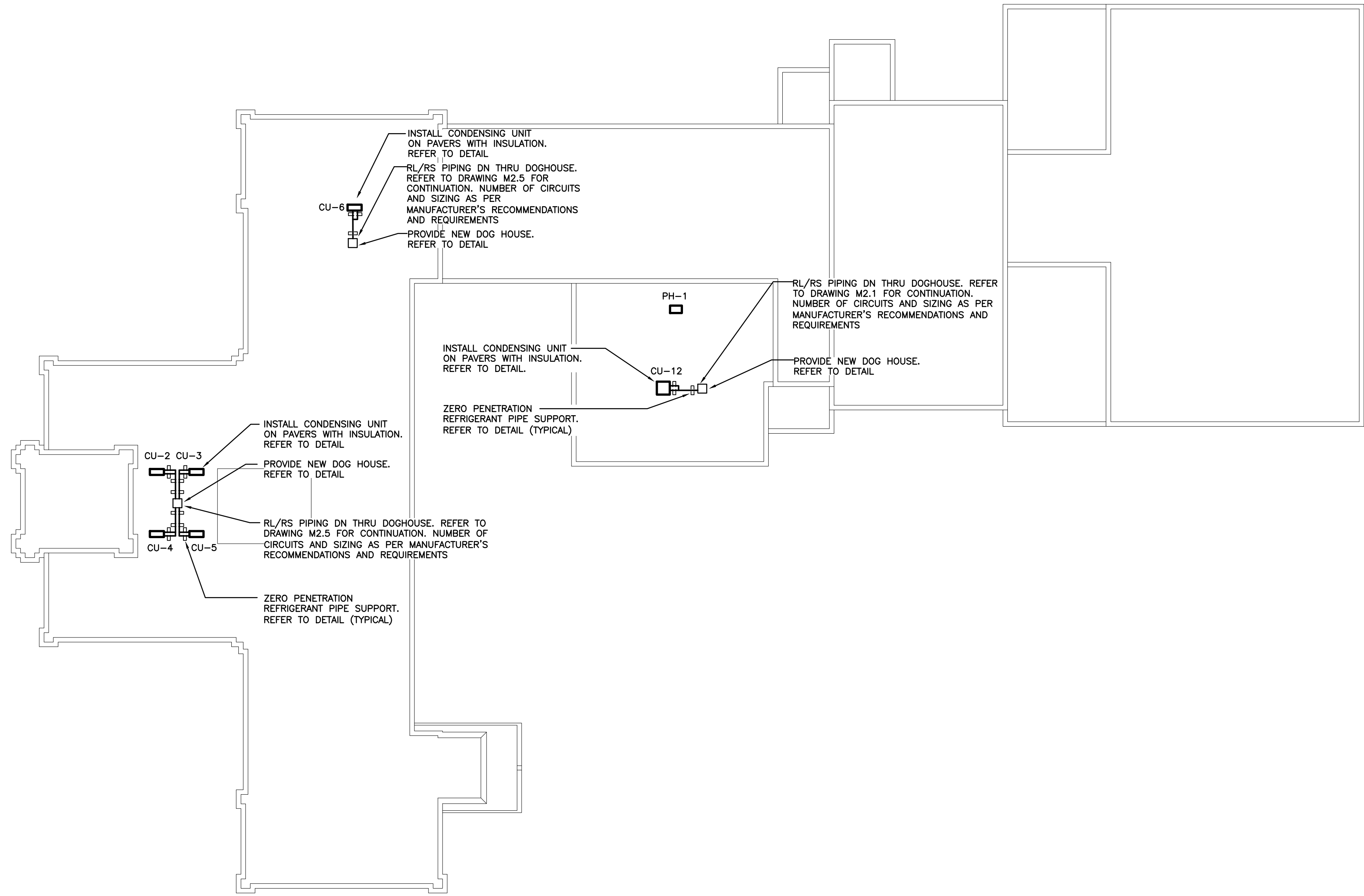
55 Northland Road, Waterloo, ON, N3V 1Y8
Phone: 519-725-3555, Website: deassociates.ca
Project Number: 23282

17 Apr 24
M.B. WHITE
100149074
PROVINCE OF ONTARIO

GROUND & SECOND FLOOR PART PLANS - DEMOLITION & RENOVATION

GENERAL NOTES

- MAINTAIN MINIMUM 3700mm (12'-0") LATERAL DISTANCE BETWEEN SANITARY VENTS AND ALL AIR INTAKE/EXHAUST OPENINGS.
- ALL EQUIPMENT SHALL BE MINIMUM 3.0M FROM EDGE OF ROOF.



ROOF PLAN – RENOVATION
SCALE: 1:200

ISSUANCES

NO.	DATE	PARTICULAR
1	24.04.17	ISSUED FOR TENDER

REVISIONS

NO.	DATE	PARTICULAR

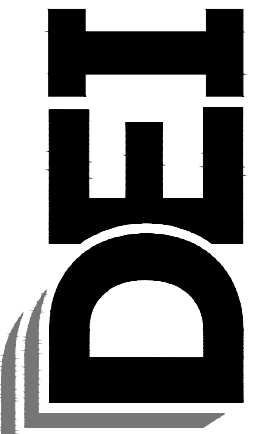
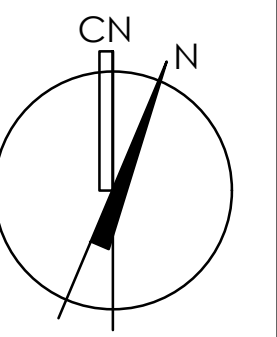
CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22060
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

Consulting Engineers | AQUATIC
MECHANICAL | ELECTRICAL
55 Northland Road, Waterloo, ON, N2V 1Y8
Phone: 519-725-3555, Website: deassociates.ca
Project Number: 23282

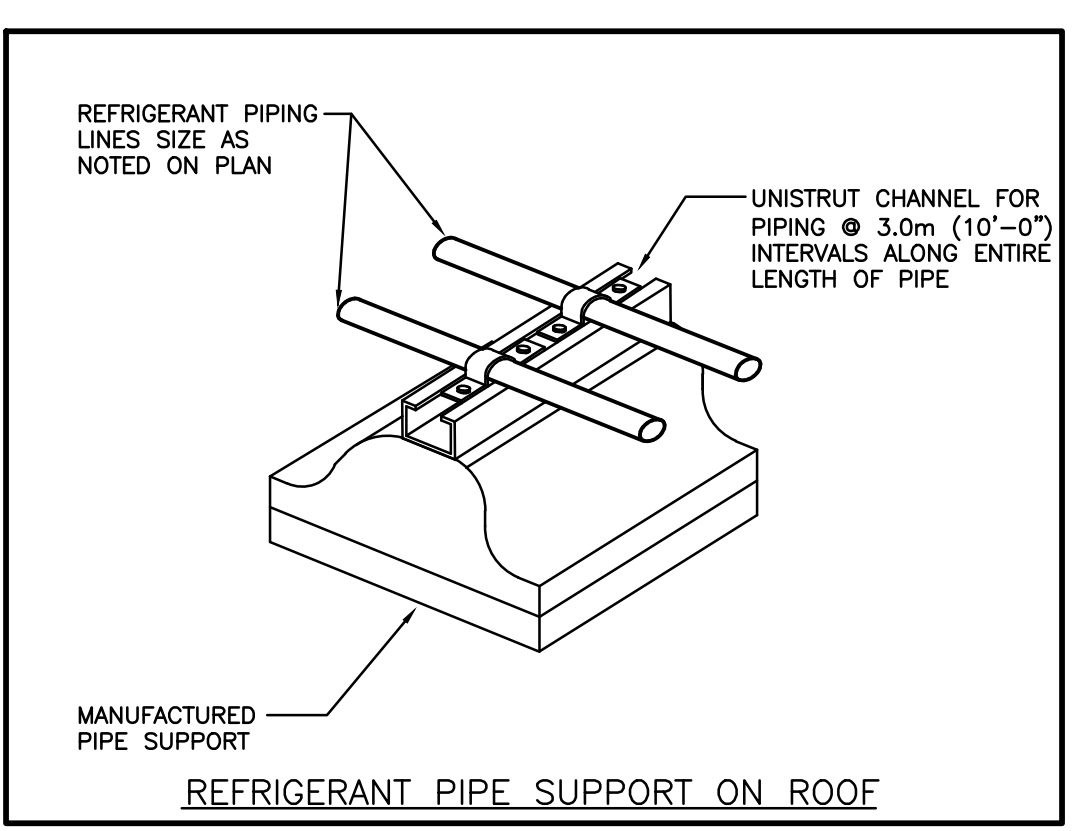
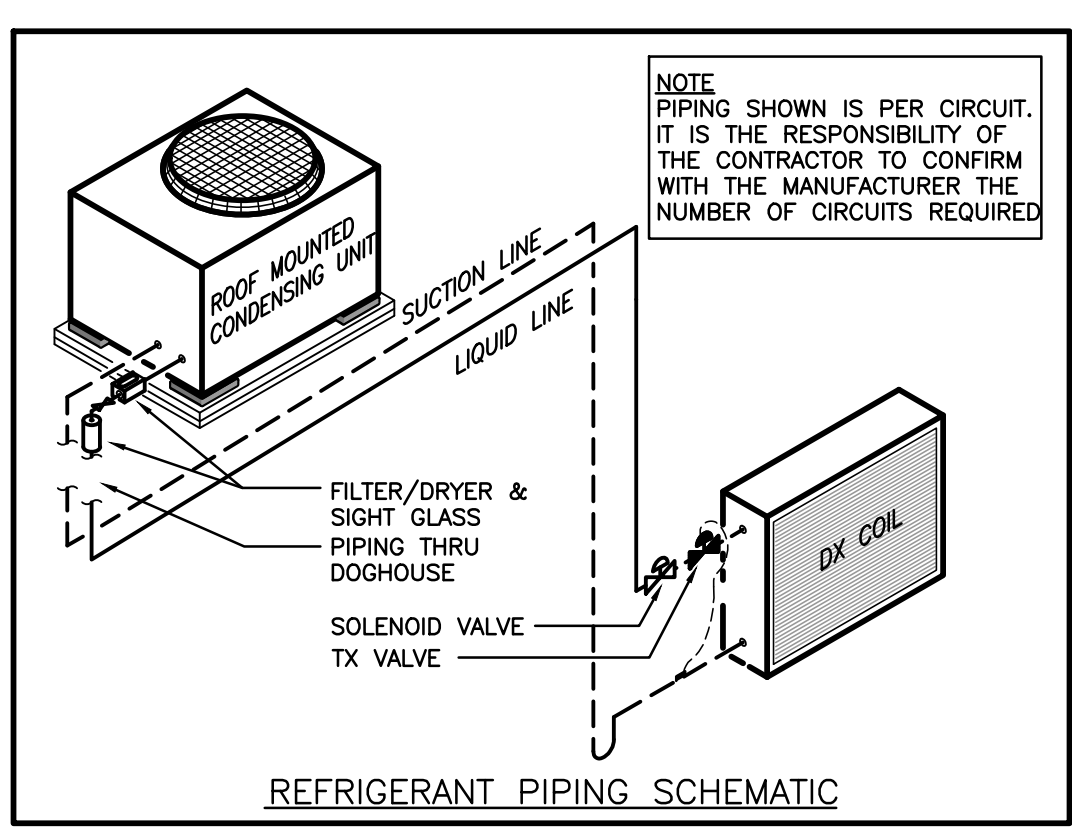
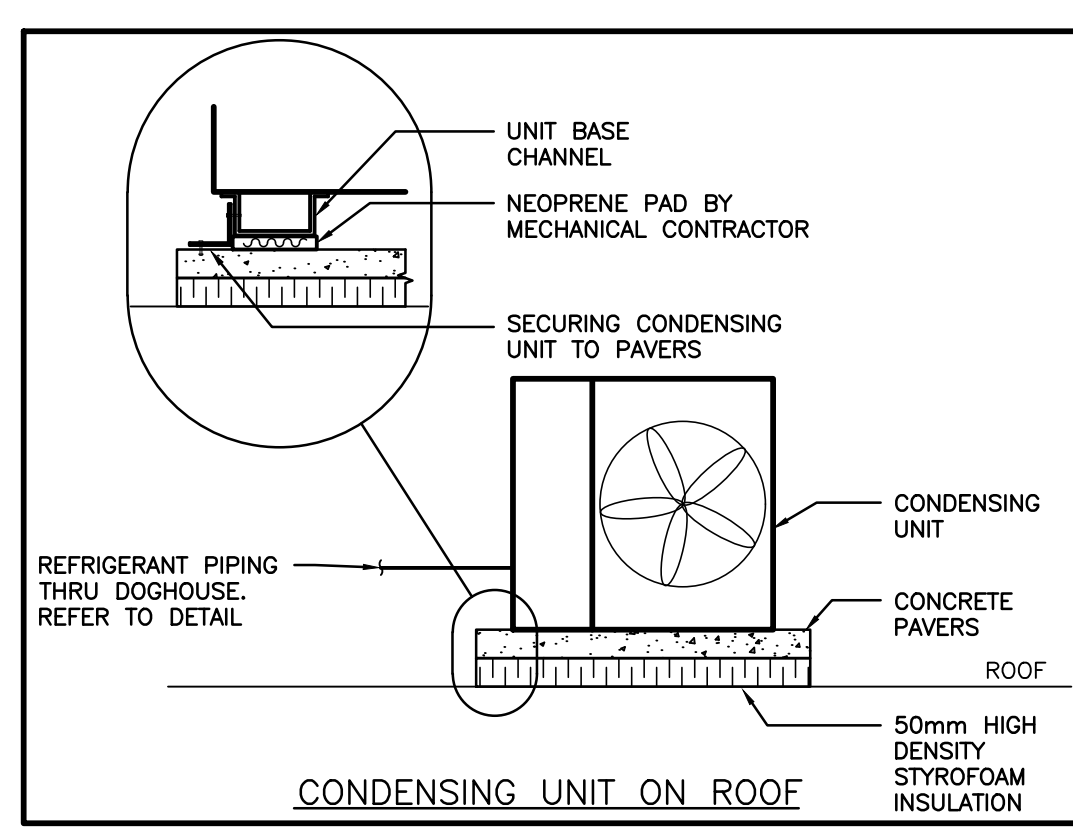
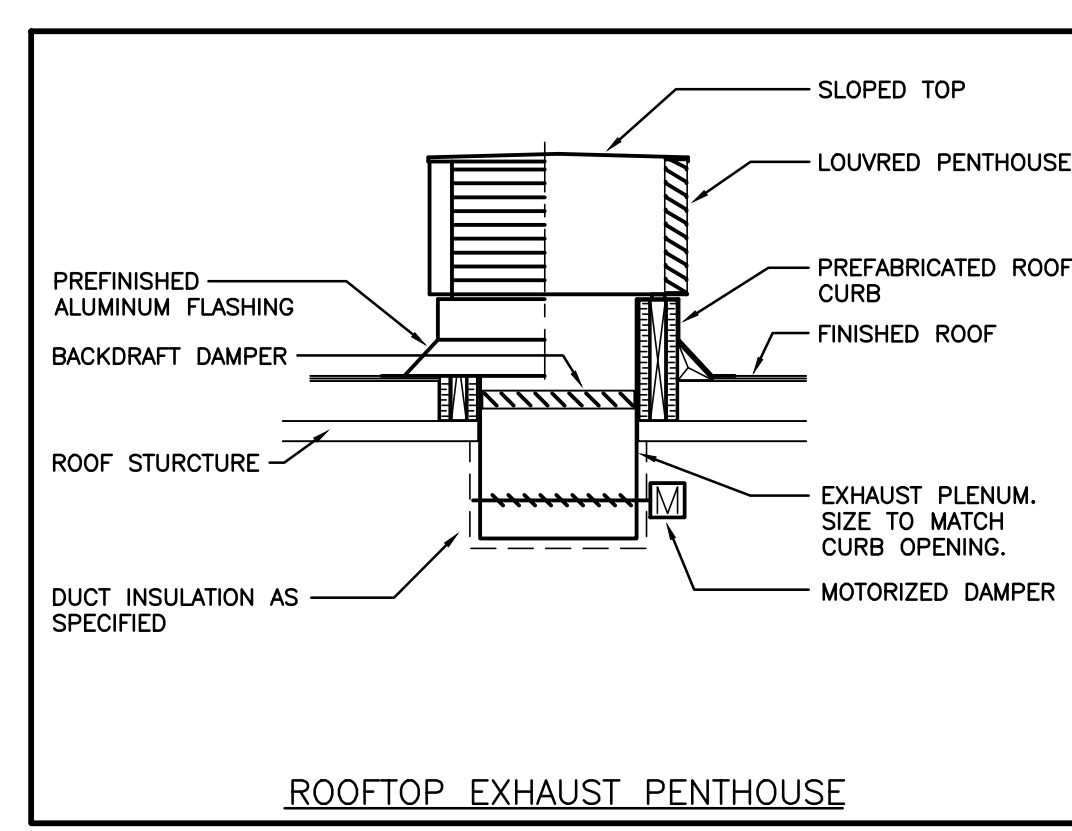
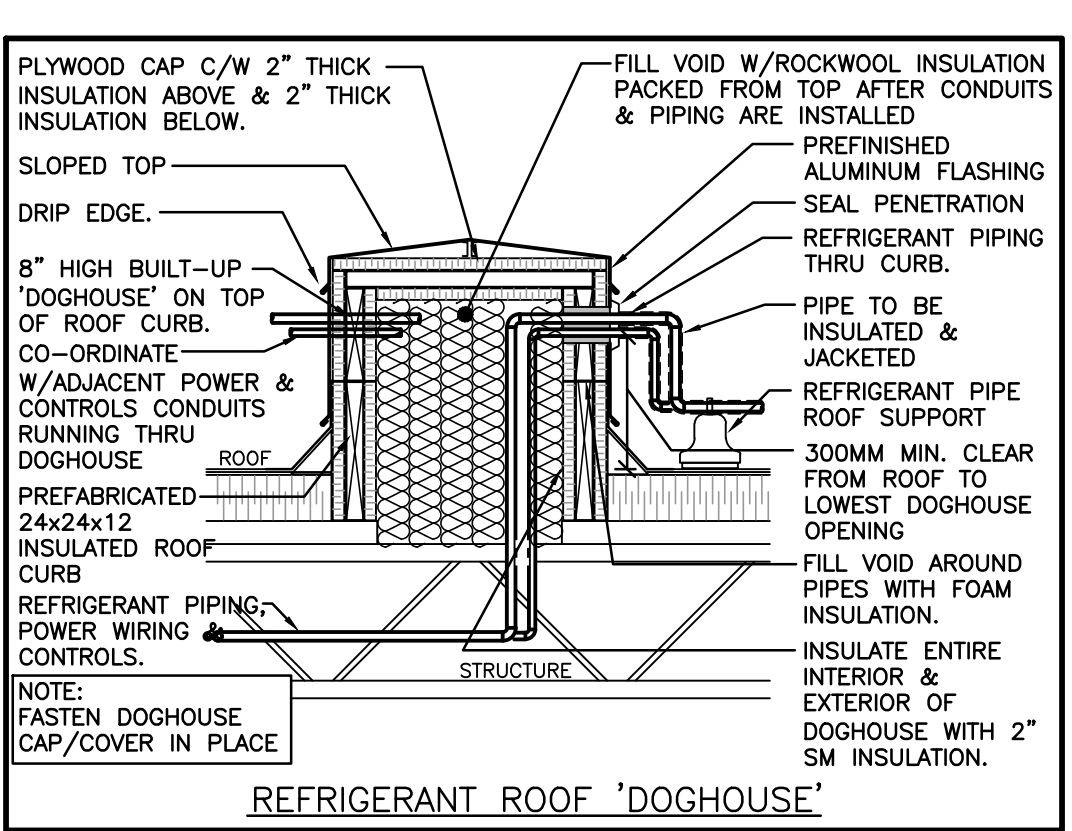
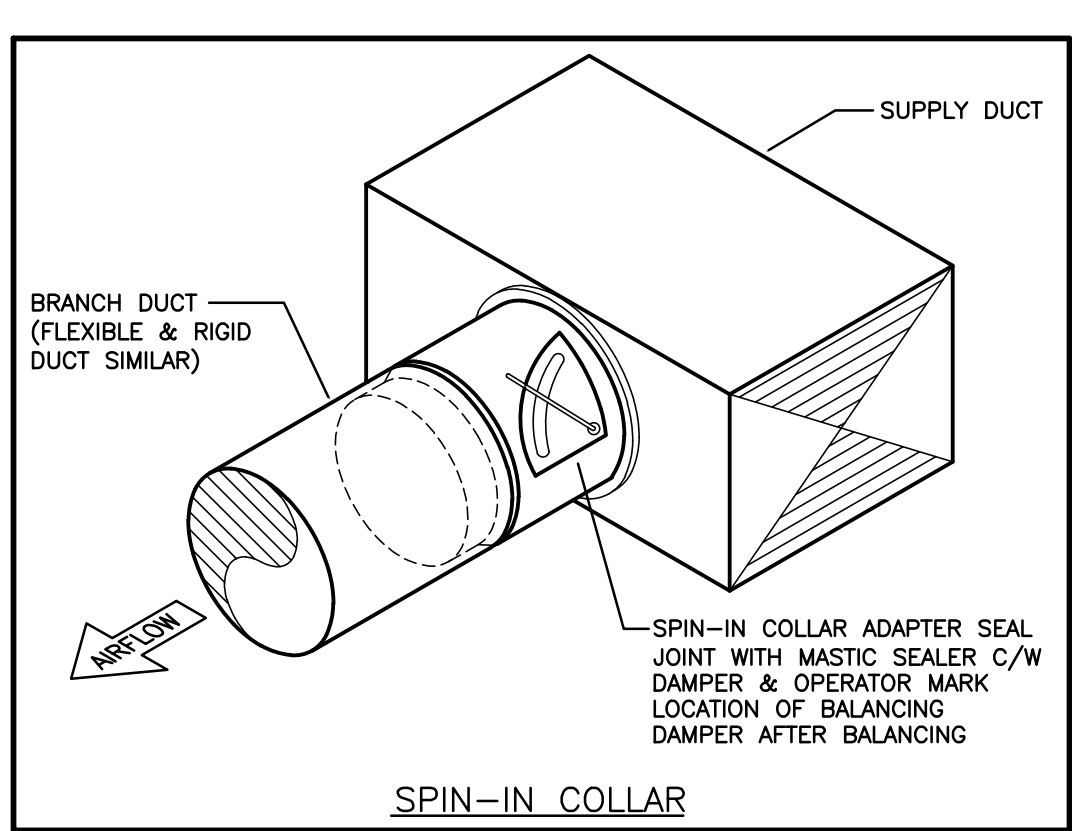
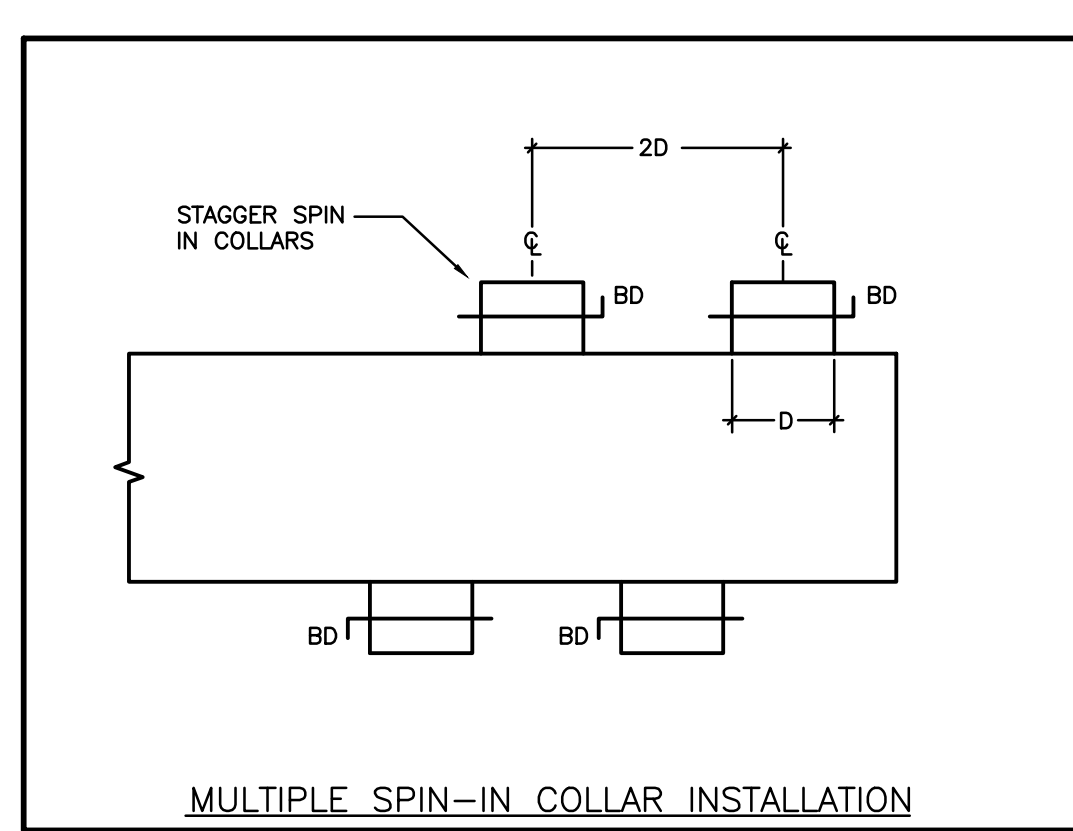
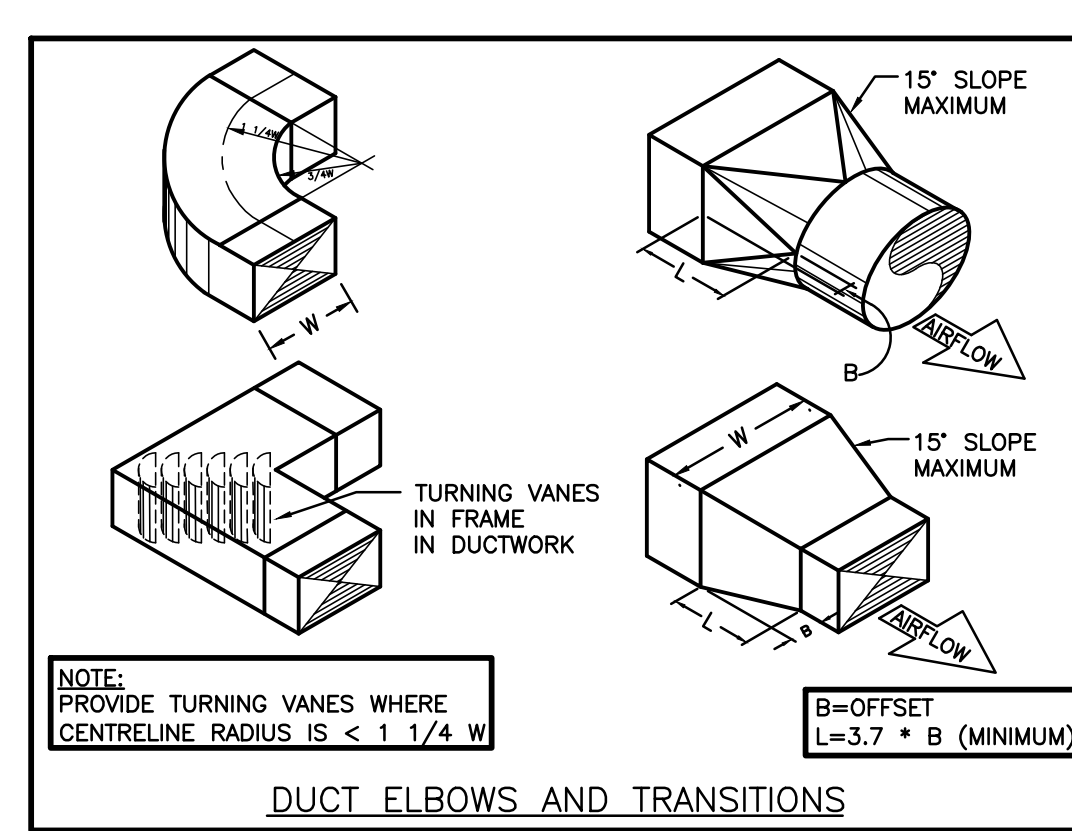
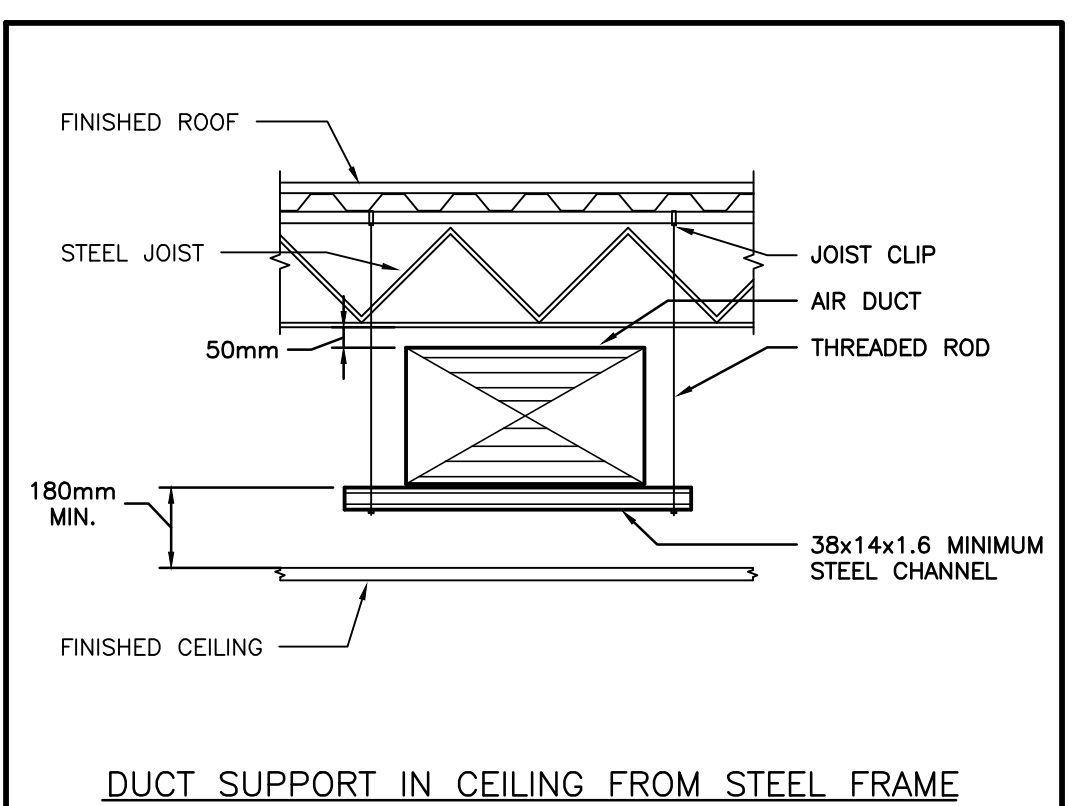
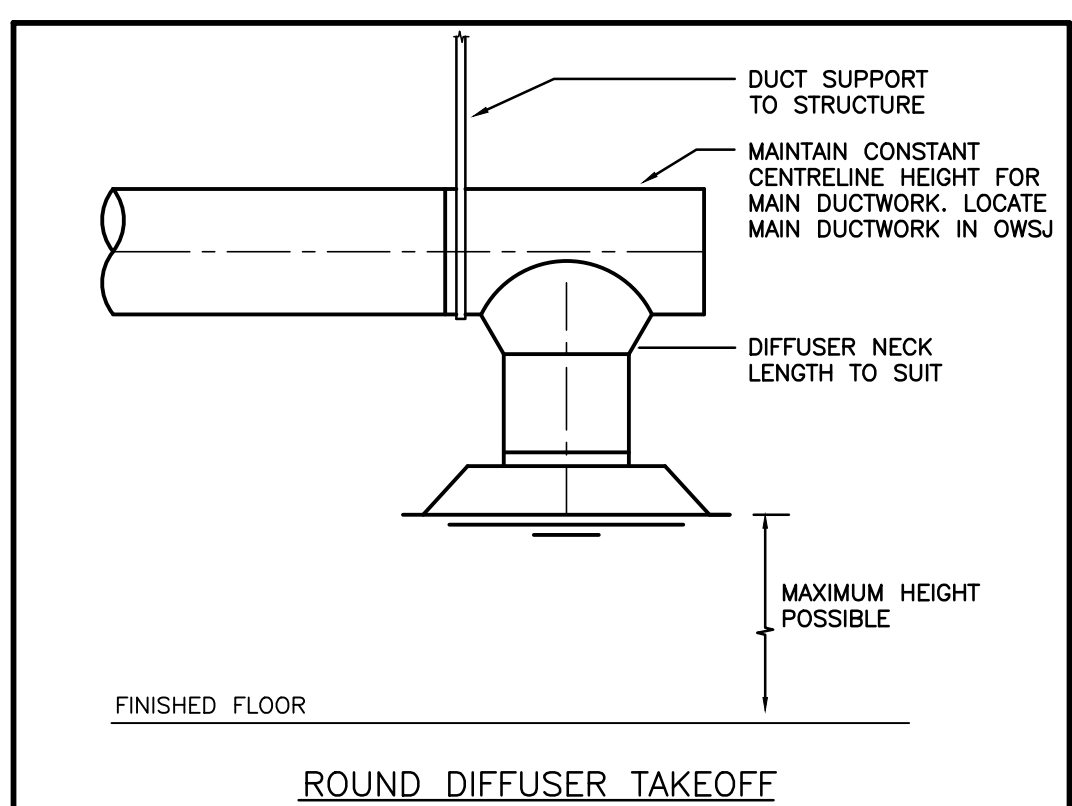
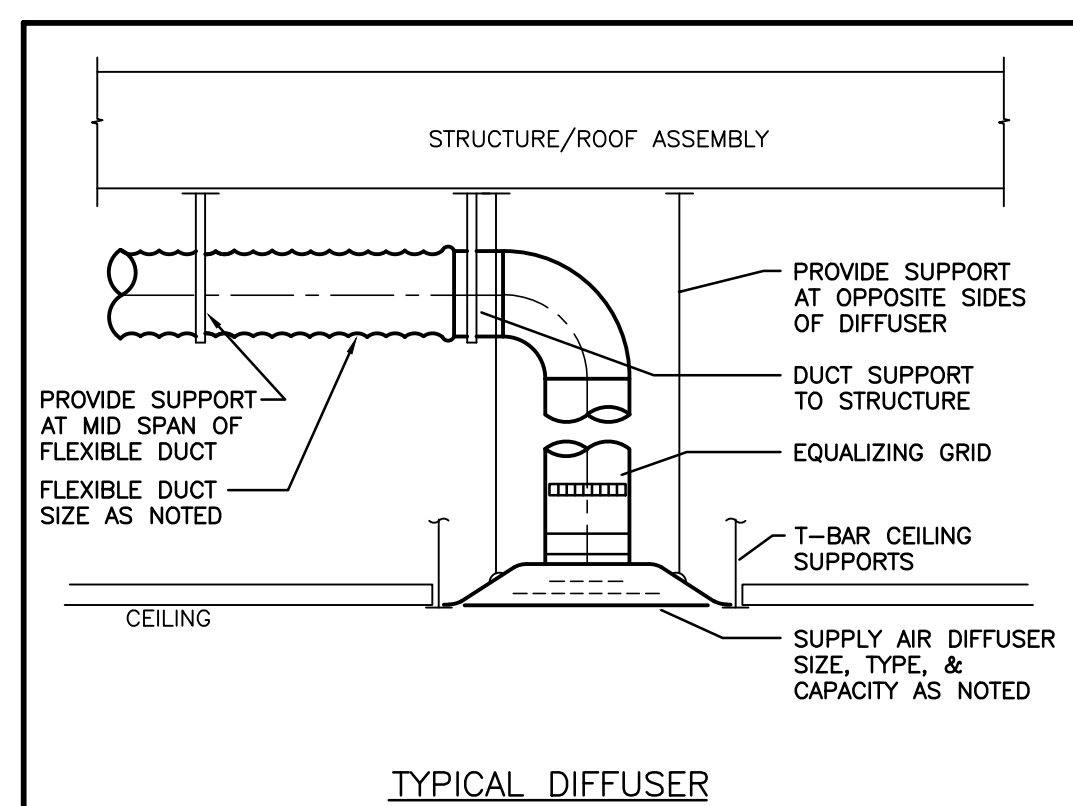
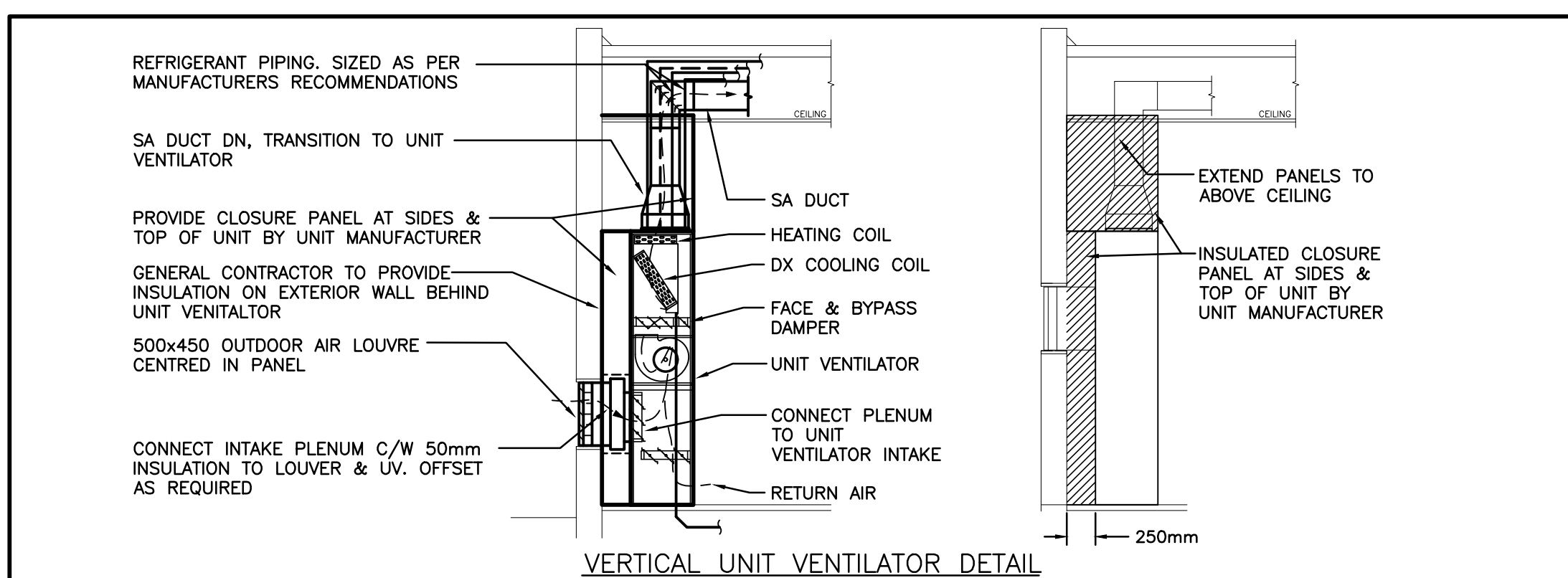
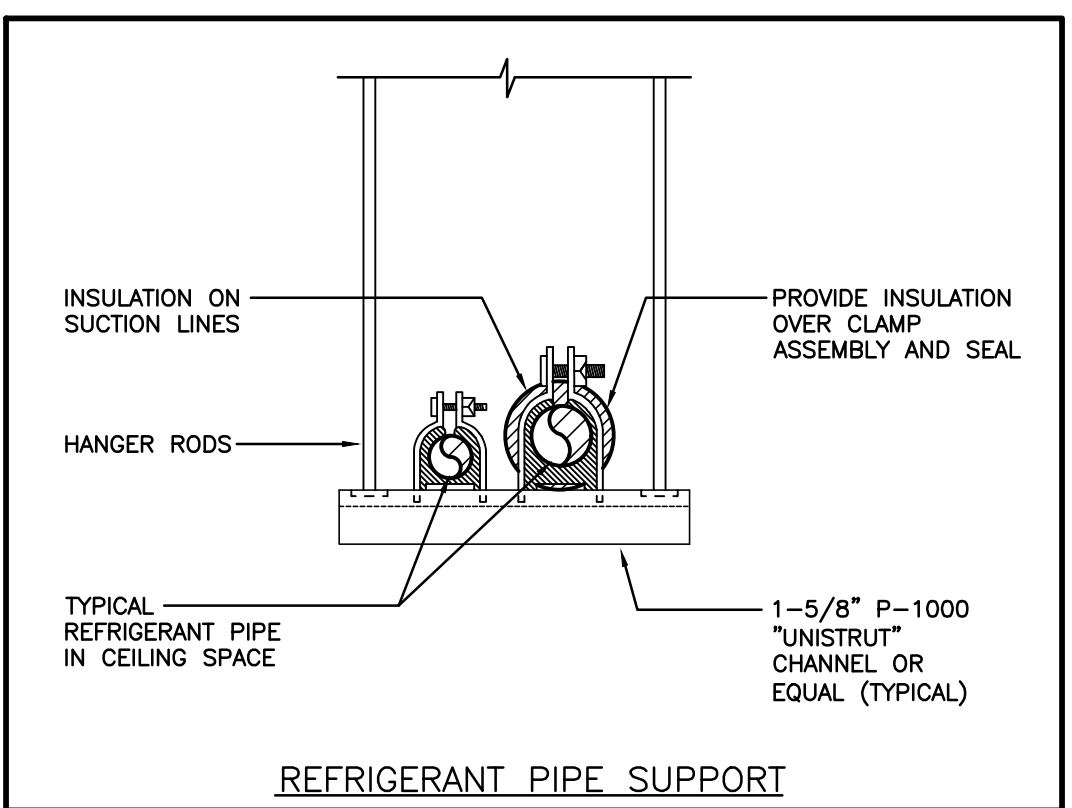
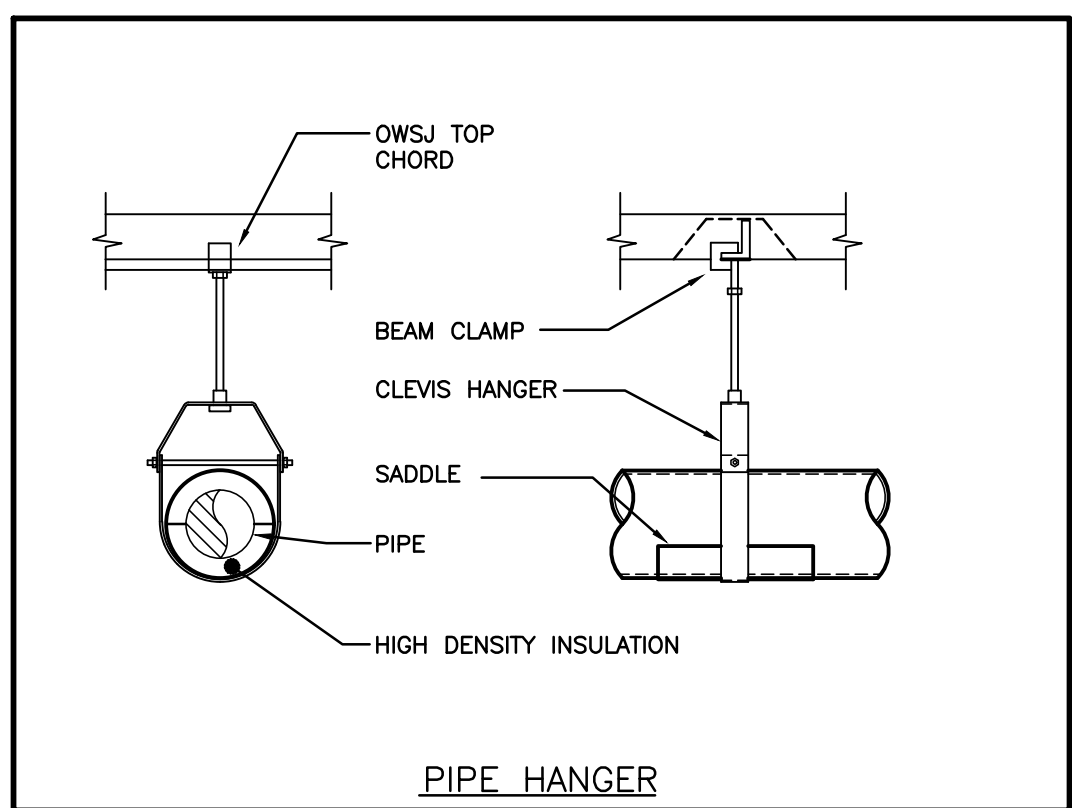
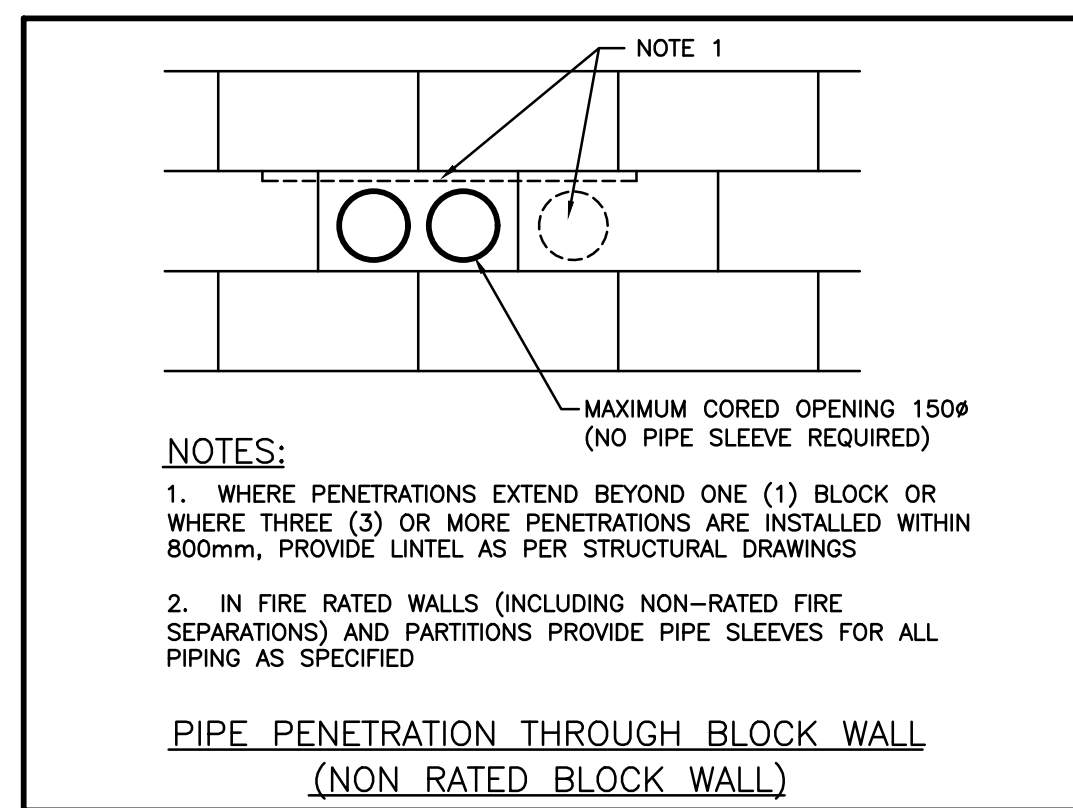
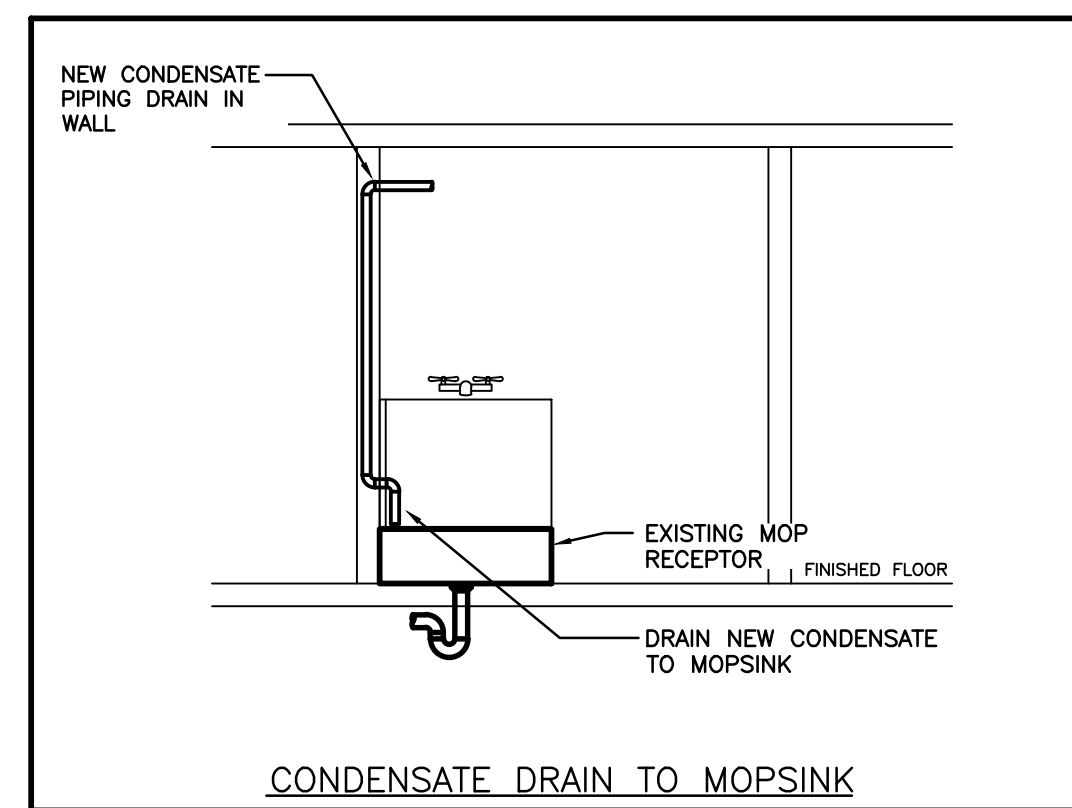
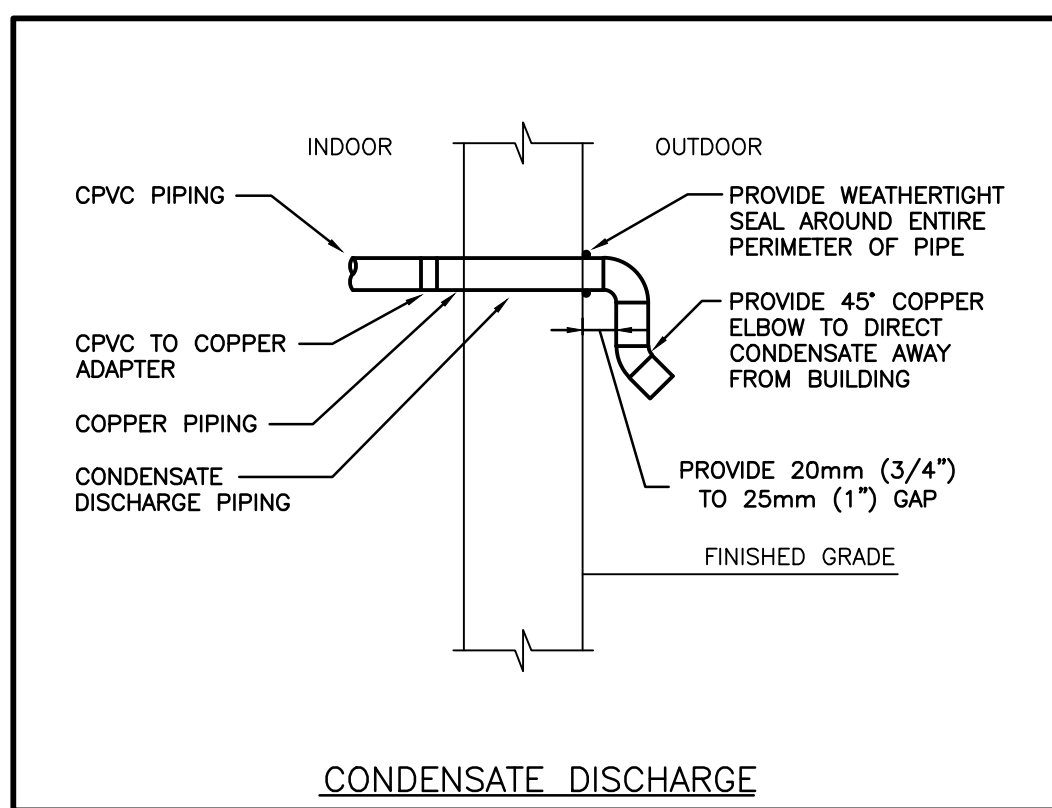


M4.1

DRAWN BY: CHECKED BY:

ROOF PLAN – RENOVATION

The contents of this drawing are the property of the consultant and shall not be used for any other project without the written consent of the consultant. This drawing is not to be used for any other project without the written consent of the consultant. © 2024 DEI Consulting Engineers



ISSUANCES

NO.	DATE	PARTICULAR
1	24.04.17	ISSUED FOR TENDER

REVISIONS

NO.	DATE	PARTICULAR

CLIENT:
 WATERLOO REGION DISTRICT SCHOOL BOARD
 51 ARDELT AVENUE
 KITCHENER, ONTARIO
 N2C 2R5

PROJECT:
 22060
 MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
 KITCHENER, ON
 N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
 KEY TO DETAIL LOCATION:
 A - DETAIL NO.
 B - DETAIL NO. ORIGIN

File name: C:\Users\apathack\AppData\Local\Temp\209252\22282.MS_I_Details.dwg

Consulting Engineers
 MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON, N2V 1Y8
 Phone: 519-725-3555, Website: deassociates.ca
 Project Number: 23282

LICENCED PROFESSIONAL ENGINEER
 17 Apr 24
 M.B. WHITE
 100149078
 PROVINCE OF ONTARIO

DEI

M5.1

DRAWN BY : CHECKED BY :

DETAILS

LIGHT FIXTURE SCHEDULE

Item	Manufacturer/Catalog Number	Voltage	Lamp	Mounting	CRI	Listings	Description
L1	COOPER CAT. #24C22-LD5-40-LV-L840-CD-1 LITHONIA CAT. #2BLT4 40L ADMV MVLG G21 LP840	120V	LED 4257 LUMENS 4000K 30.4W	RECESSED	80	DLC	2'x4' (610mmx1220mm) VOLUMETRIC LED TROFFER C/W SMOOTH FROSTED ACRYLIC CENTRE LENS, 1% 0-10V DIMMING DRIVER, AND WHITE FINISH.
L2	COOPER CAT. #22C22-LD5-32-LV-L840-CD-1 LITHONIA CAT. #2BLT2 33L ADMV MVLG G21 LP840	120V	LED 3334 LUMENS 4000K 24.2W	RECESSED	80	DLC	2'x2' (610mmx610mm) VOLUMETRIC LED TROFFER C/W SMOOTH FROSTED ACRYLIC CENTRE LENS, 1% 0-10V DIMMING DRIVER, AND WHITE FINISH.
L3	COOPER CAT. #24C22-LD5-40-LV-L840-CD-1 C/W SK-24-WT LITHONIA CAT. #2BLT4 40L ADMV MVLG G21 LP840 C/W 2K4SMKSP PV	120V	LED 4257 LUMENS 4000K 30.4W	SURFACE	80	DLC	2'x4' (610mmx1220mm) VOLUMETRIC LED TROFFER C/W SMOOTH FROSTED ACRYLIC CENTRE LENS, 1% 0-10V DIMMING DRIVER, WHITE FINISH, AND SURFACE MOUNT KIT.

NOTES:

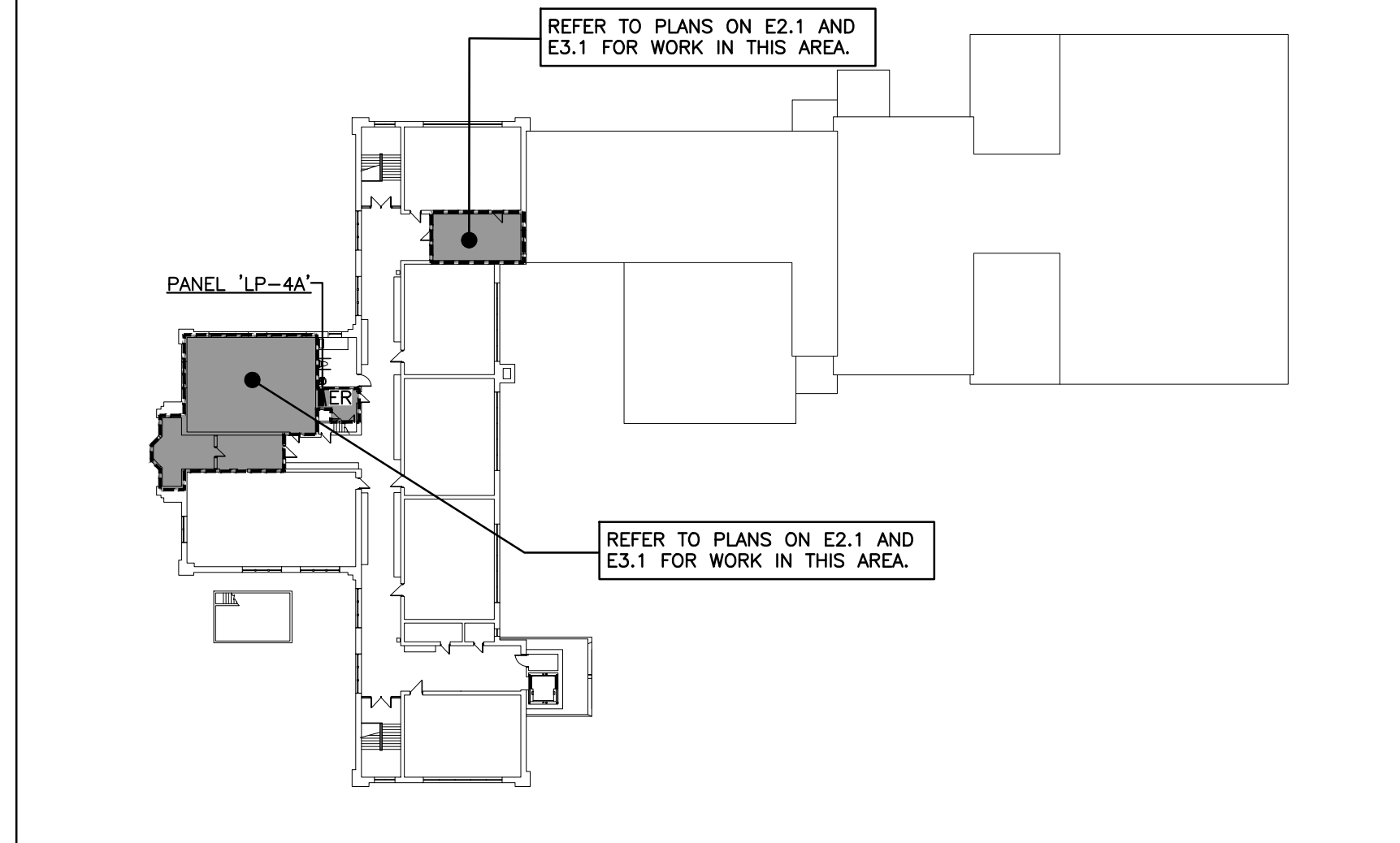
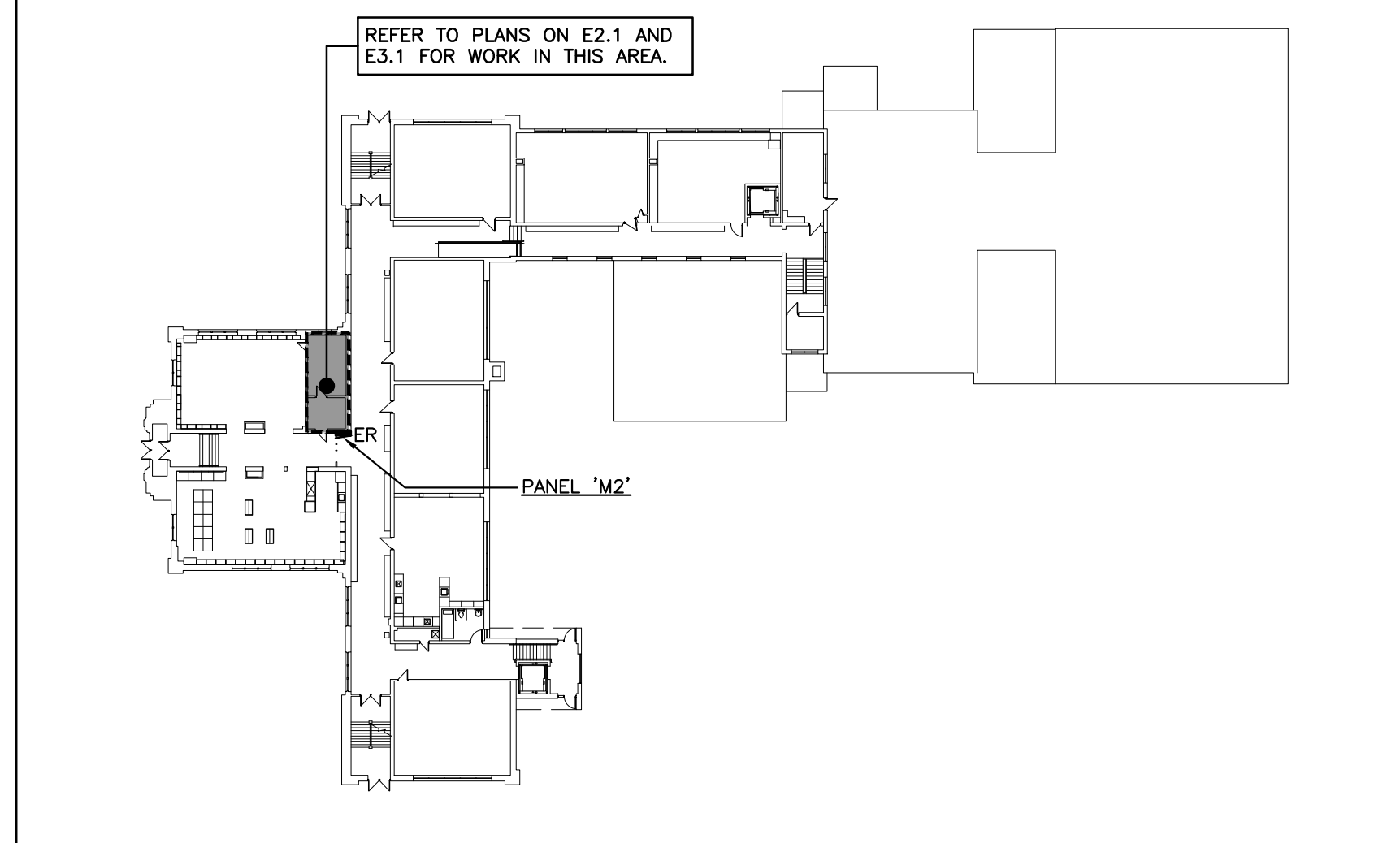
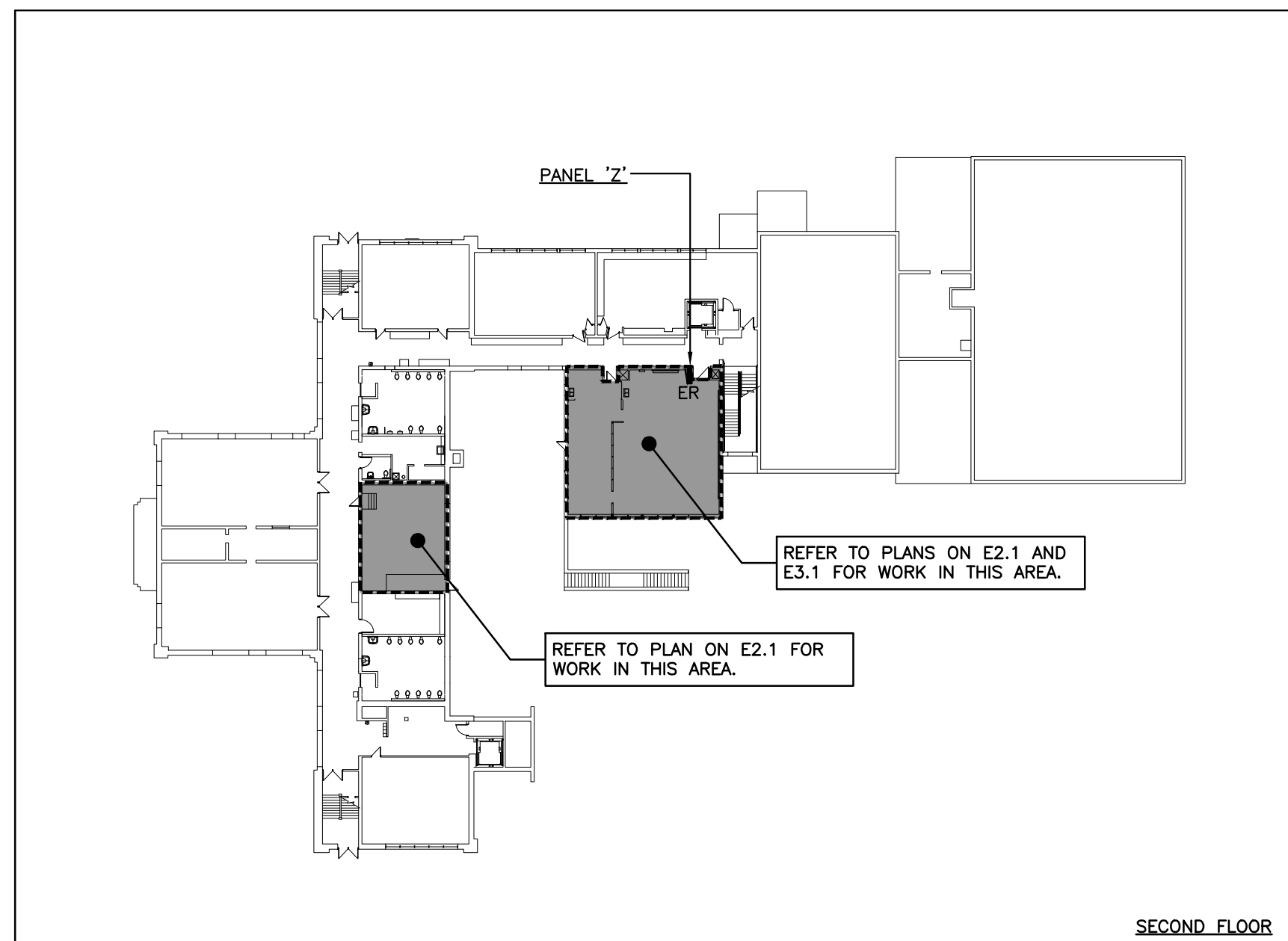
- FOR INFORMATION REGARDING DRIVER AND LENS INFORMATION REFER TO SPECIFICATION.
- LED LUMEN VALUES QUOTED FOR FIXTURES ARE TO BE CONSIDERED MINIMUM, AND AS ABSOLUTE OR DELIVERED LUMENS, LUMEN VALUES SHOULD NOT EXCEED MORE THAN 10% OF SPECIFIED OUTPUT.
- IF THERE ARE ANY DISCREPANCIES BETWEEN THE FIXTURE PART NUMBER AND DESCRIPTION, IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO BRING THIS TO THE ELECTRICAL CONSULTANTS ATTENTION PRIOR TO SHOP DRAWING REVIEW.

LIGHTING CONTROL SYSTEMS SEQUENCE OF OPERATION

Space Type	Control Sequence / Control Device(s):	Control System	Detail Reference
Classrooms	Sequence: ON: Lights will turn on to 50% automatically when occupancy is detected. OFF: 20 minutes after the area tied to a given room controller has been vacated, the lights will automatically turn off. MANUAL: The occupant can adjust lighting to desired level via wall station dimmer.	DIGITAL ROOM CONTROL SYSTEM	B/E1.2 C/E1.2 D/E1.2
Private Offices & Seminar	Sequence: ON: Lights turned on automatically when occupancy is detected. OFF: 10 minutes after the room has been vacated, the lights will automatically turn off. OVERRIDE: User manually adjusts on/off and that state shall remain without reverting to previous state unless sensors do not detect occupancy for extended period, whereby normal sensor operation is to resume.	LINE VOLTAGE OCCUPANCY CONTROL	A/E1.2

EQUIPMENT WIRING SCHEDULE

Electrical Item	Description	Data		Starter		Control Device		Isolating Device		Remote Items													Interlock		Remarks													
		Provided by	Voltage	Size	Phase	Magnetic	Manual	Combination	Variable	Hand/Off/Auto	On/Off Selector	Pilot Light	Disconnect	WP	Disconnect	Brkr./Fuse	Starter/Device	Wired By	Thermostat	RA	Thermostat	Time Clock	Var.Speed	Ctrl		Motor	Relay	Control Panel	Wired by	Big Auto System	Wired by	Interlock To	Interlock By					
UV-12	UNIT VENTILATOR	M	120	12.6A	1	20A																																INTERLOCK TO LOUVERED PENTHOUSE MOTORIZED DAMPER.
DS-2	CEILING CASSETTE	M	208	1A	1	15A																															FEED THROUGH CU-2	
DS-3	CEILING CASSETTE	M	208	1A	1	15A																															FEED THROUGH CU-3	
DS-4	CEILING CASSETTE	M	208	1A	1	15A																															FEED THROUGH CU-4	
DS-5	CEILING CASSETTE	M	208	1A	1	15A																															FEED THROUGH CU-5	
DS-6	CEILING CASSETTE	M	208	1A	1	15A																															FEED THROUGH CU-6	
CU-2	CONDENSING UNIT	M	208	19.6A	1	30A																																
CU-3	CONDENSING UNIT	M	208	19.6A	1	30A																																
CU-4	CONDENSING UNIT	M	208	19.6A	1	30A																																
CU-5	CONDENSING UNIT	M	208	19.6A	1	30A																																
CU-6	CONDENSING UNIT	M	208	19.6A	1	30A																																
CU-12	CONDENSING UNIT	M	208	23.7A	1	30A																																
CD-1	CONDENSATE PUMP	M	120	FHP	1	15A																																
BAS	BAS PANEL	M	120	FHP	1	15A																																



OVERALL PLAN
SCALE: 1:500

ELECTRICAL SYMBOLS

NOTE: ALL SYMBOLS MAY NOT BE USED

LIGHTING		POWER	
[Symbol]	LIGHT FIXTURE TYPE AS INDICATED	[Symbol]	WALL MOUNTED RECEPTACLE (15A-120V)
[Symbol]	CEILING OR WALL MOUNTED LIGHT FIXTURE TYPE AS INDICATED	[Symbol]	RECEPTACLE MTD. ABOVE COUNTER (15A-120V)
[Symbol]	BATTERY UNIT WITH INTEGRAL EMERGENCY FIXTURE (EM-X INDICATES BATTERY UNIT TYPE, DC-X INDICATES DC CIRCUIT, AND X-X INDICATES AC SOURCE CIRCUIT)	[Symbol]	WALL MOUNTED T-SLOT RECEPTACLE (20A-120V)
[Symbol]	SINGLE POLE SWITCH (3=3 WAY, 4=4 WAY, P=PILOT LIGHT, K=KEYED, DM=DIMMER, M=MOTOR RATED)	[Symbol]	T-SLOT RECEPTACLE MTD. ABOVE COUNTER (20A-120V)
[Symbol]	OCCUPANCY SENSOR (PASSIVE)	[Symbol]	DIRECT CONNECTION
[Symbol]	OCCUPANCY SENSOR: OSD=DUAL TECHNOLOGY OSR=DUAL CIRCUIT/DUAL TECHNOLOGY	[Symbol]	JUNCTION BOX
[Symbol]	CEILING MOUNTED MOTION SENSOR	[Symbol]	PANEL AS INDICATED
[Symbol]	DIGITAL ROOM CONTROLLER	[Symbol]	DESTRATIFICATION FAN
[Symbol]	DIGITAL WALL DIMMER STATION	[Symbol]	GENERAL
[Symbol]	FIRE ALARM	[Symbol]	INDICATED EXISTING ITEM TO REMAIN
[Symbol]	HEAT DETECTOR (135 DEGREE RATE OF RISE AND FIXED TEMPERATURE)	[Symbol]	D INDICATES EXISTING ITEM TO BE DELETED
[Symbol]	SMOKE DETECTOR (RL=RELAY BASE)	[Symbol]	R INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION
[Symbol]	ALARM STROBE	[Symbol]	GF GROUND FAULT
[Symbol]	ALARM BELL	[Symbol]	WP WEATHERPROOF
[Symbol]	COMMUNICATIONS	[Symbol]	CLG CEILING MOUNTED
[Symbol]	SINGLE COMPUTER OUTLET C/W 3/4" (21mm) C TO CABLE MANAGEMENT SYSTEM	[Symbol]	(X) NOTE INDICATOR
[Symbol]	WIRELESS ACCESS POINT, PROVIDE 3/4" (21mm) C TO CABLE MANAGEMENT SYSTEM	[Symbol]	(X) ZONE INDICATOR
[Symbol]	CLOCK REFERENCE LOCATION - PROVIDED BY SCHOOL BOARD, INSTALLED BY TRADES	[Symbol]	(X) MECHANICAL ITEM NO.
[Symbol]	AUXILIARY ROUGH-IN FOR USE AS NOTED.	[Symbol]	STANDARD CIRCUIT LABELING

ISSUANCES

NO.	DATE	PARTICULAR
1	24.04.17	ISSUED FOR TENDER

REVISIONS

NO.	DATE	PARTICULAR

KEY PLAN

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

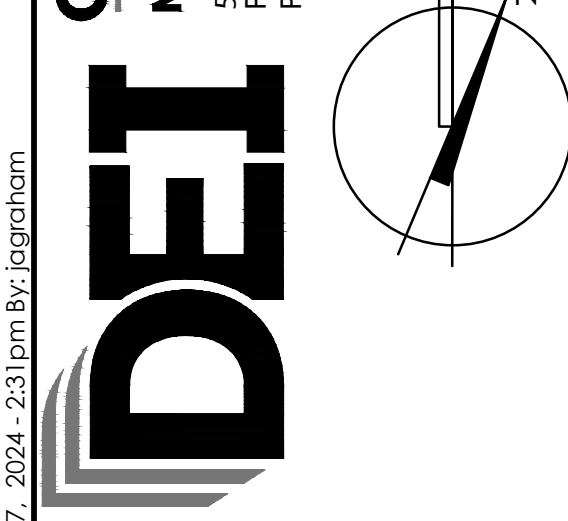
PROJECT:
22060
MARGARET AVENUE PUBLIC SCHOOL RENOV.

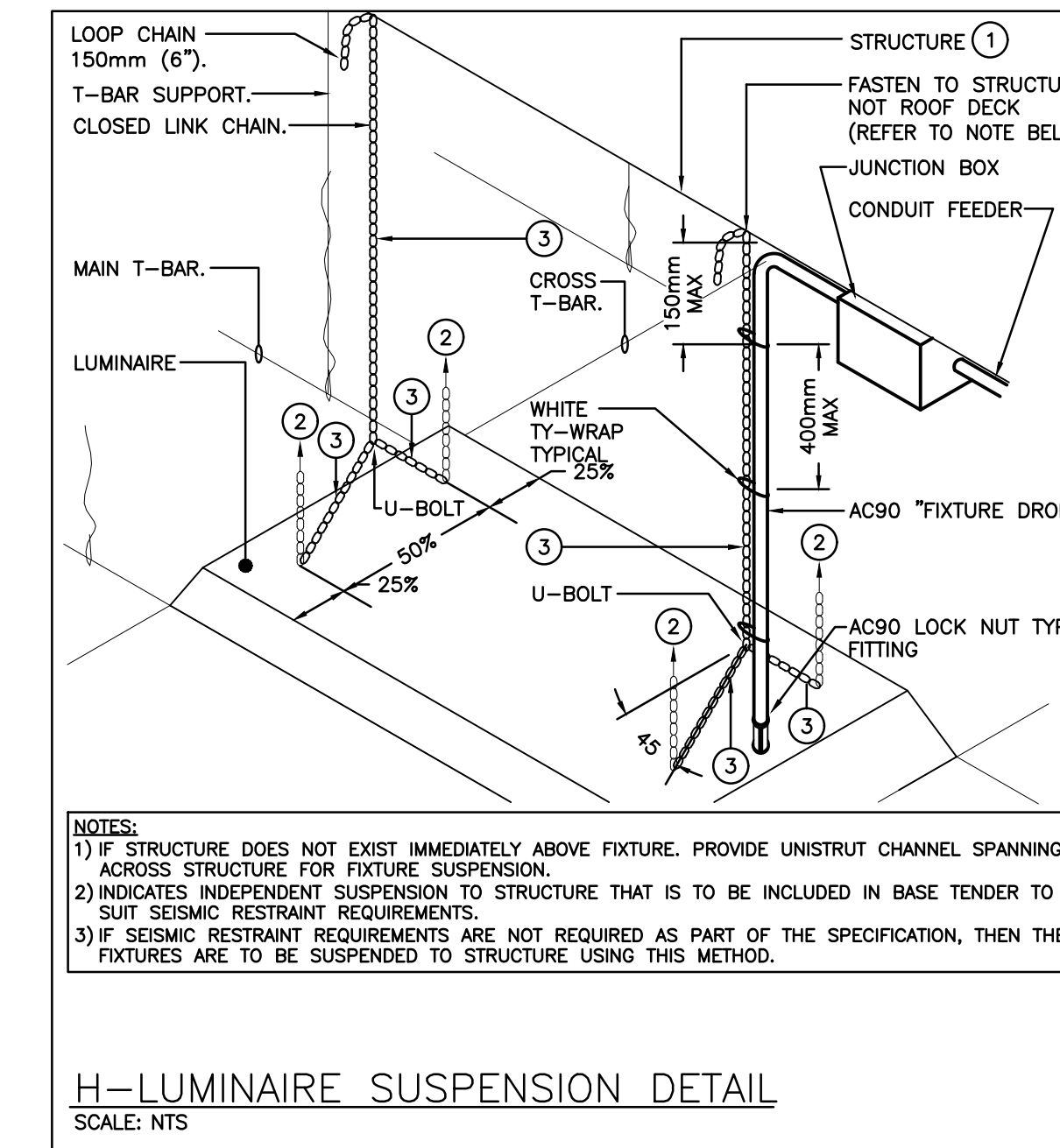
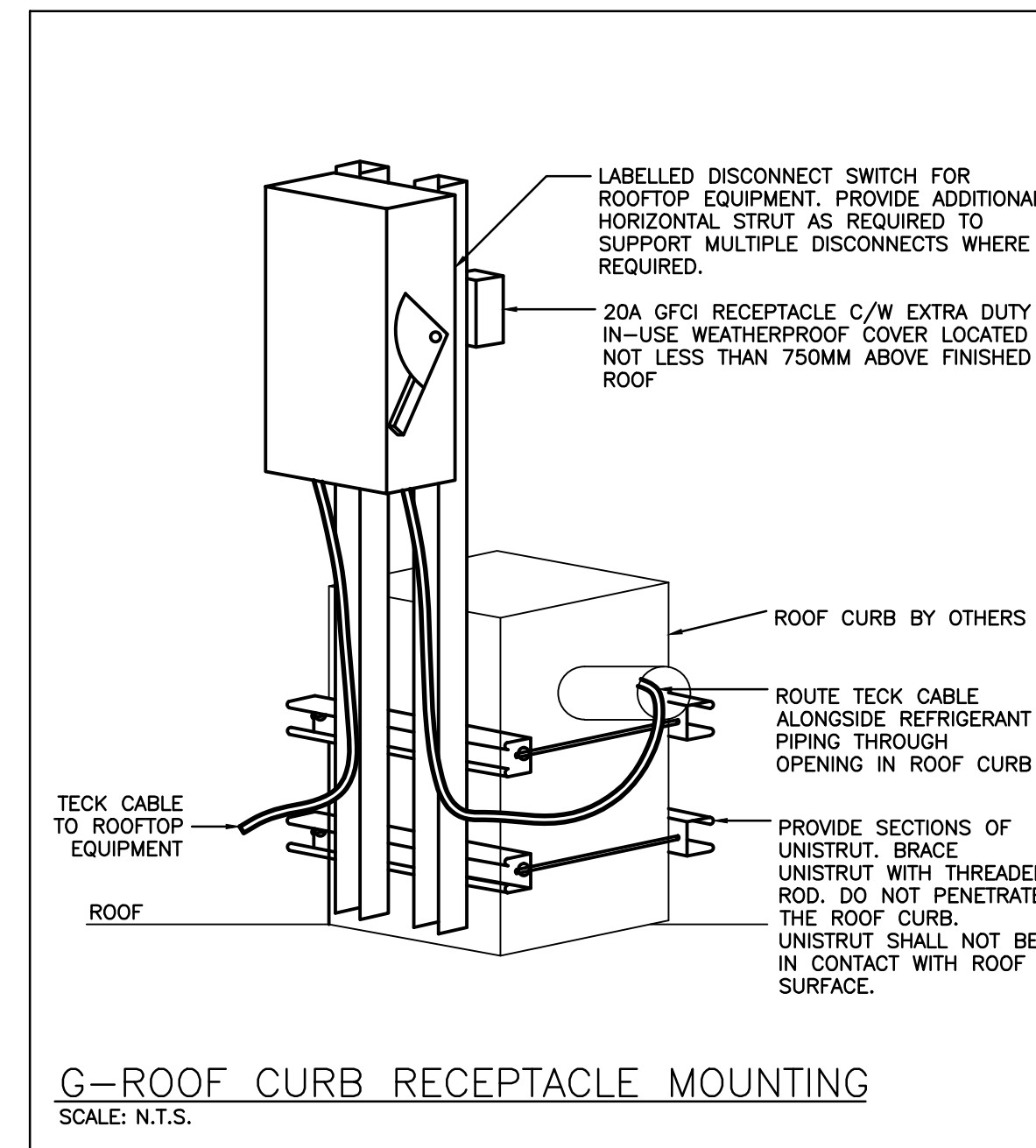
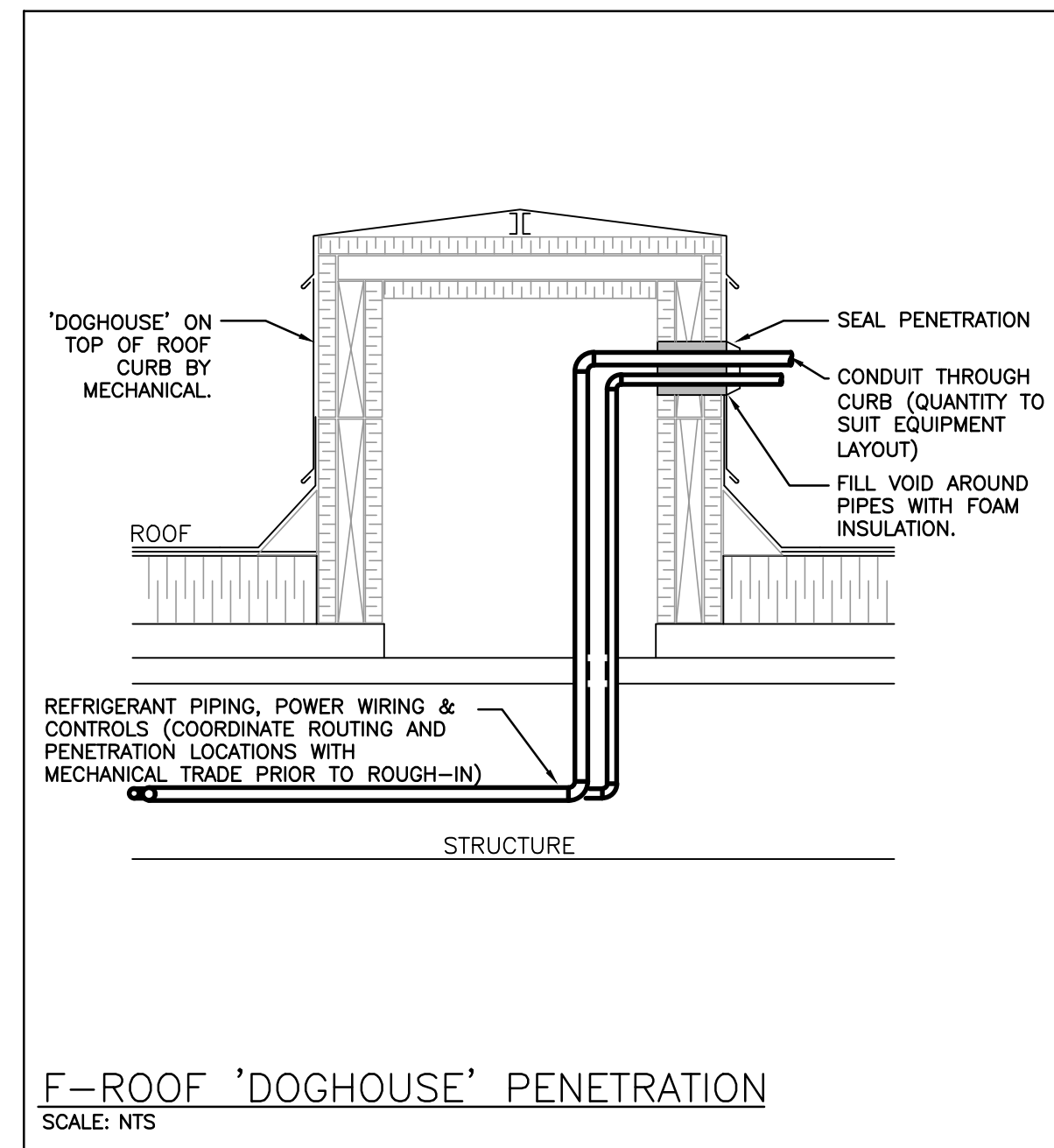
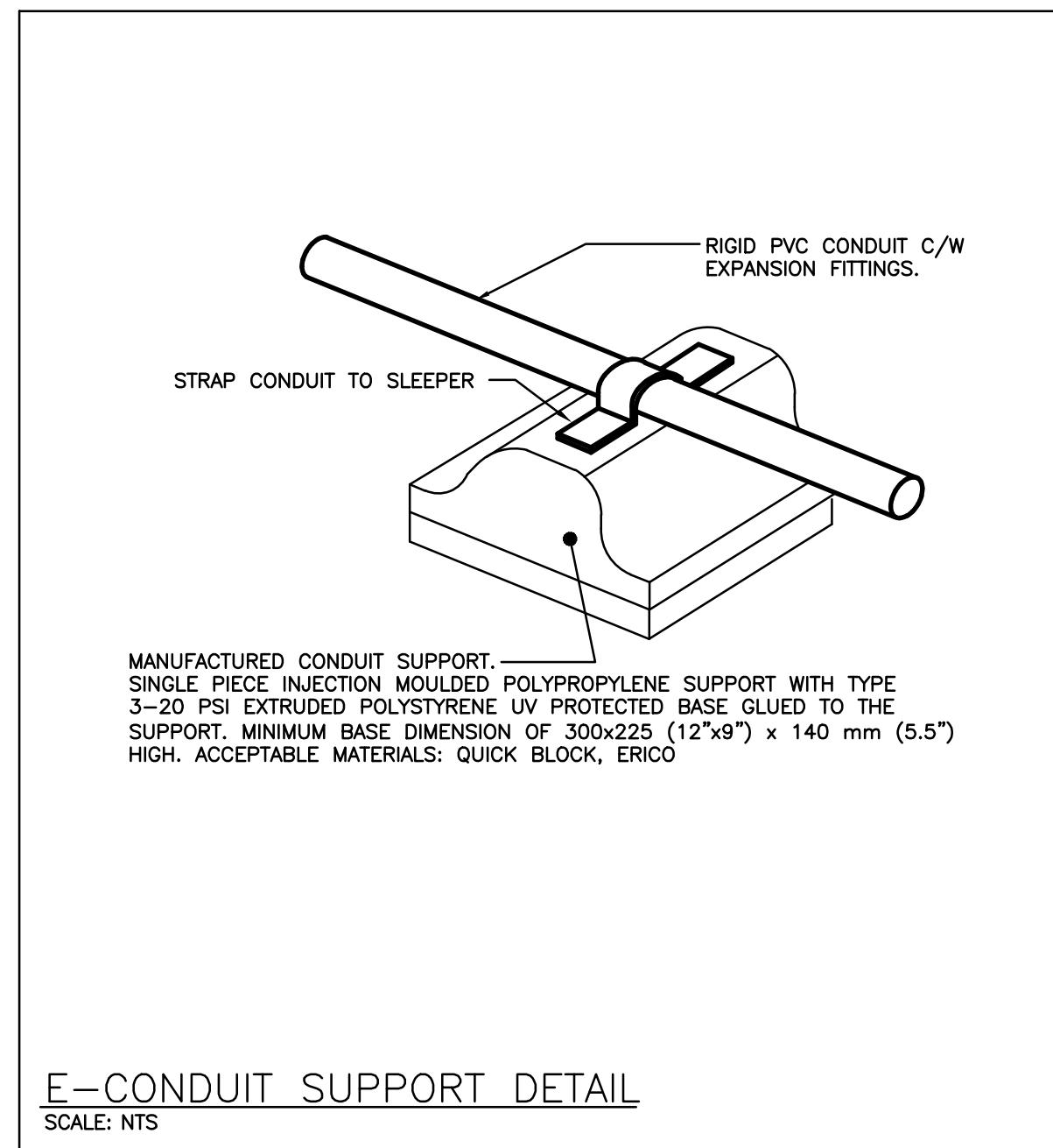
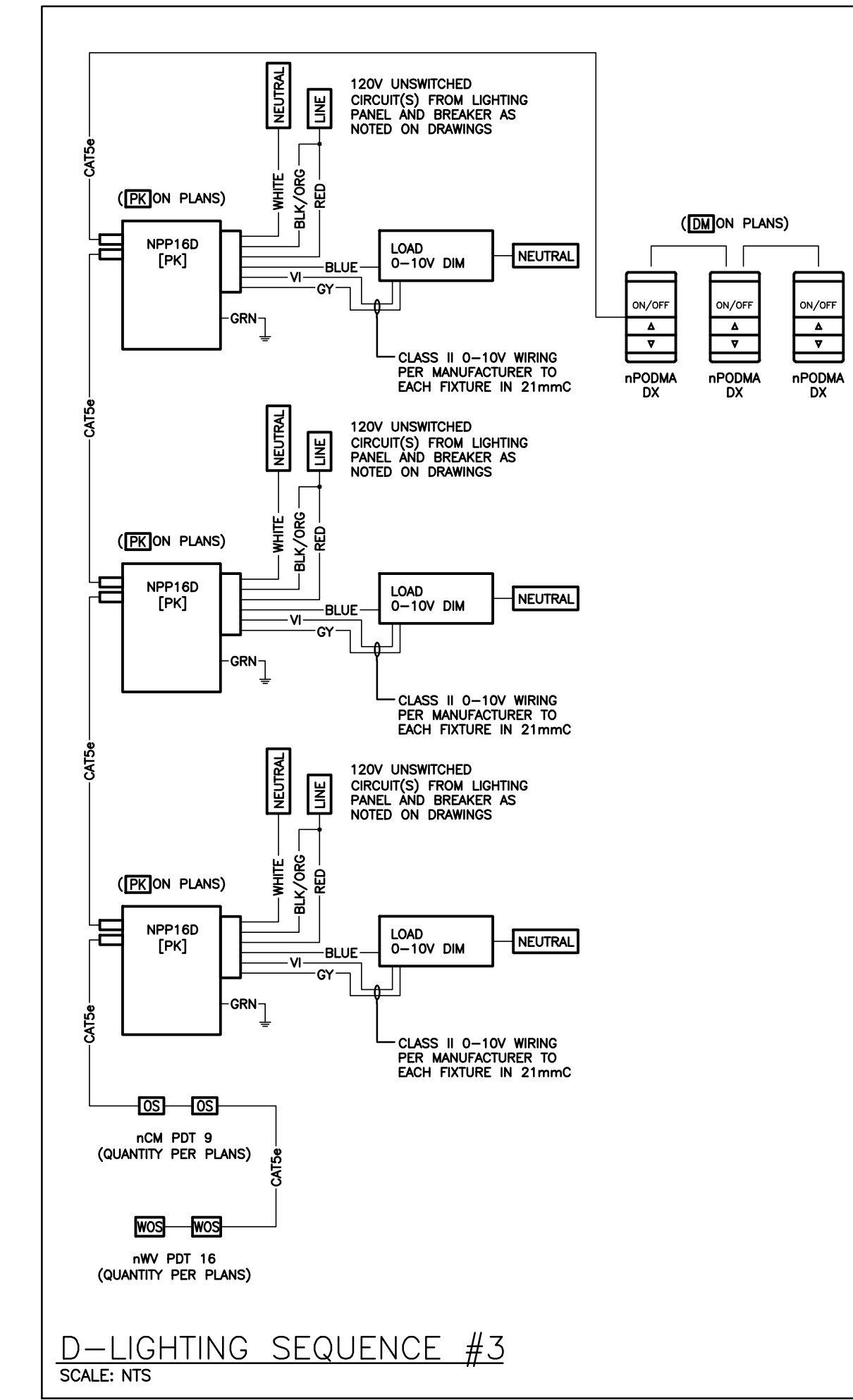
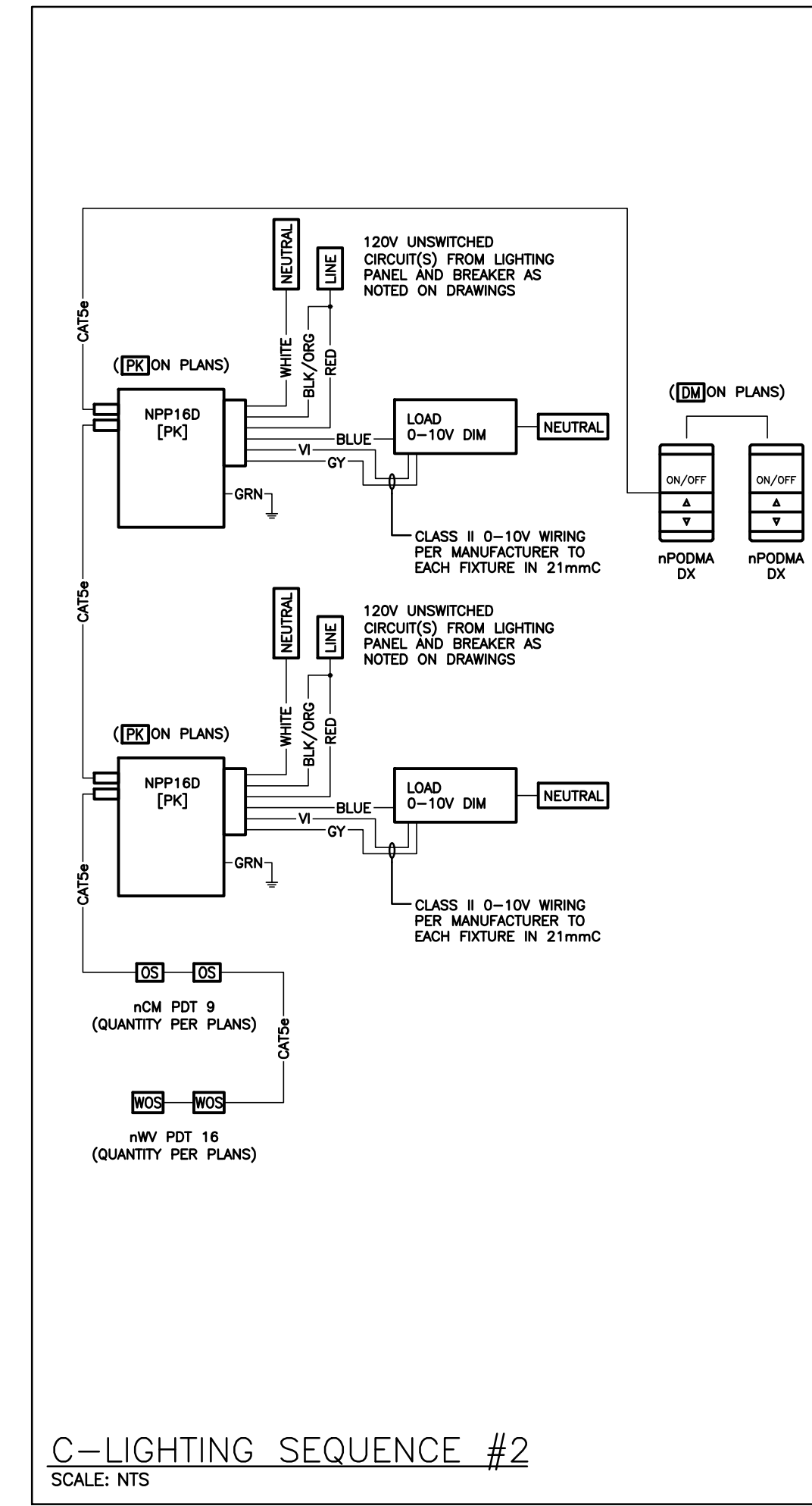
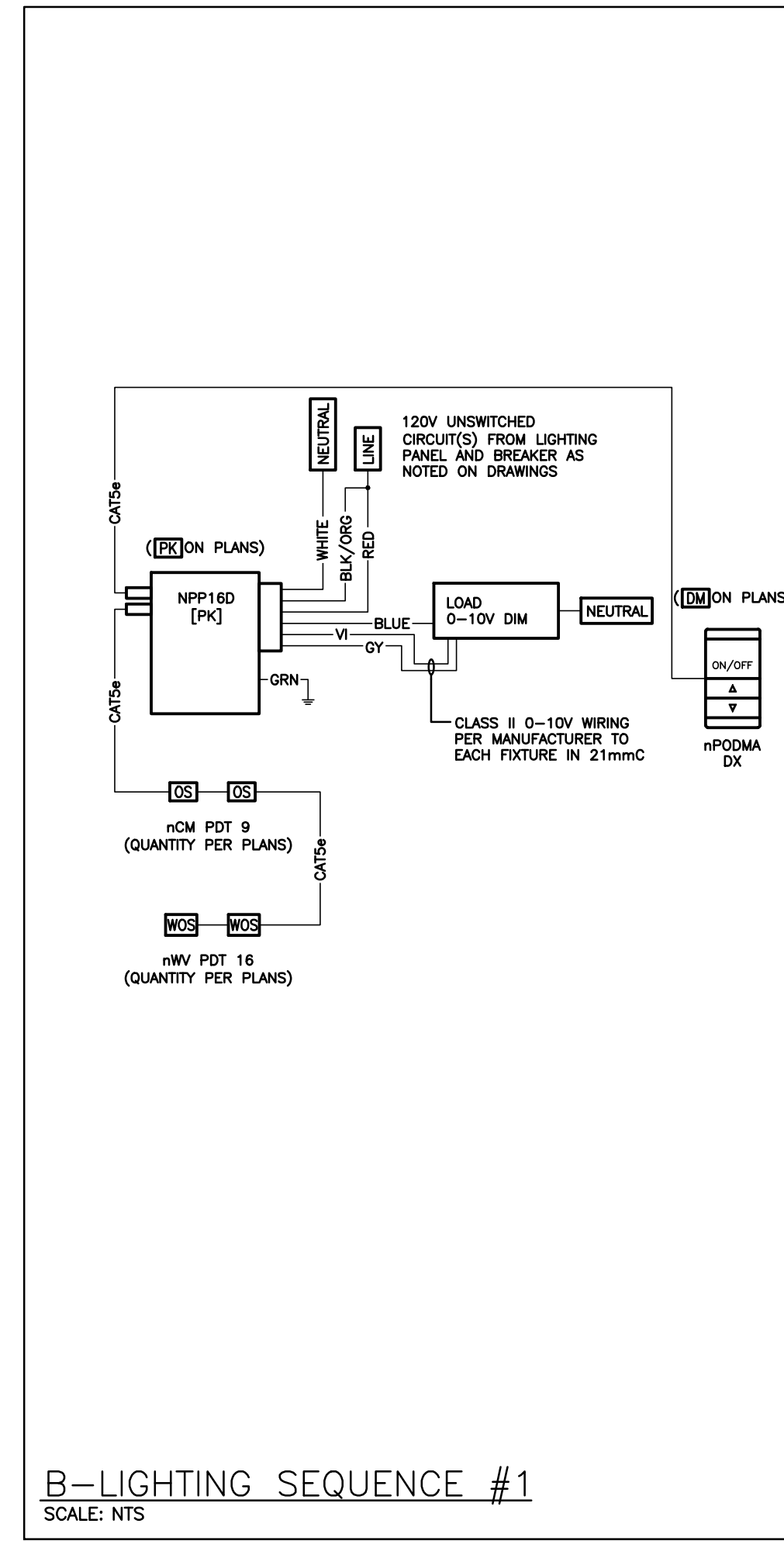
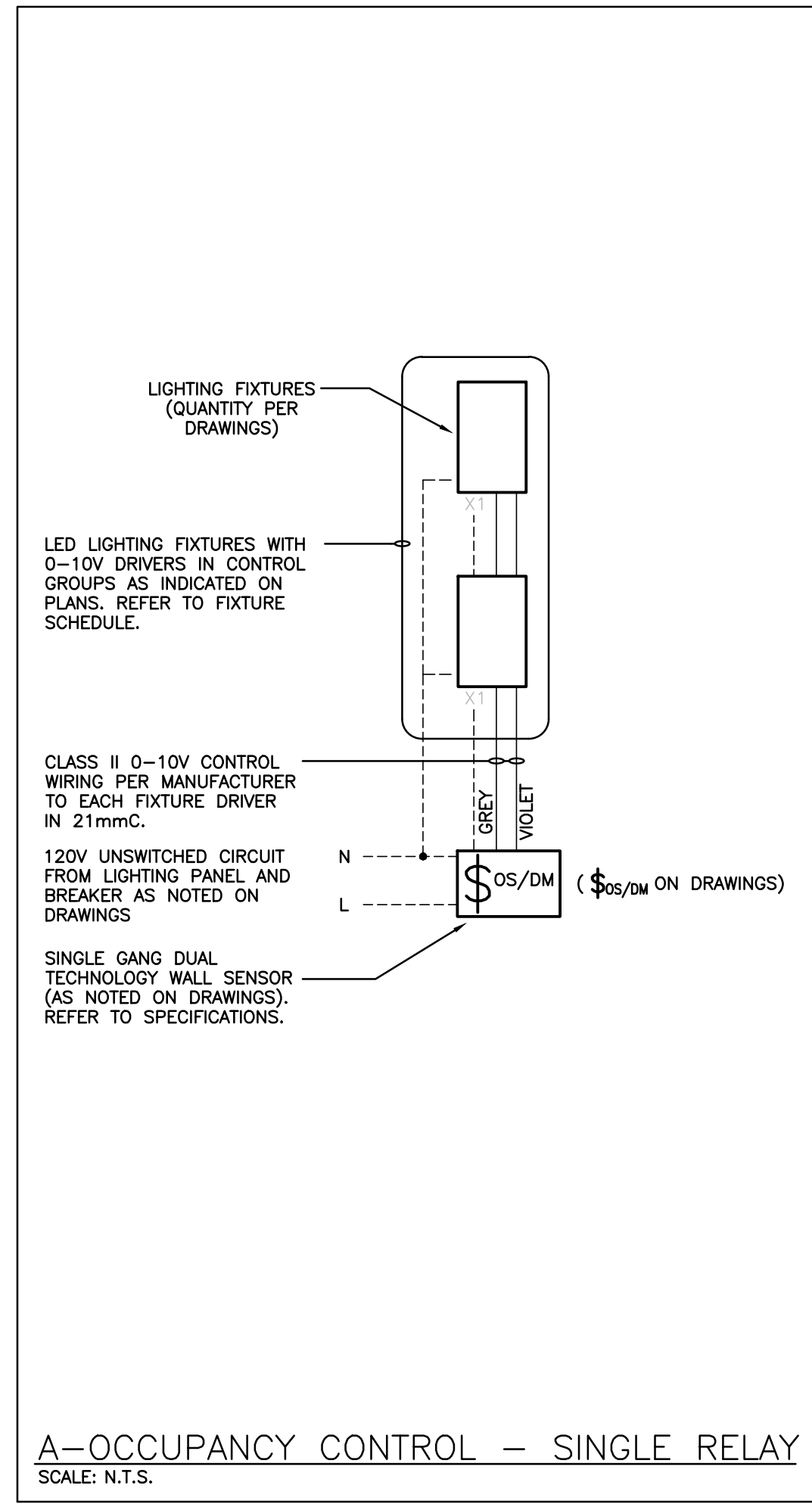
325 Louisa Street,
KITCHENER, ON
N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

Consulting Engineers Inc.
MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-725-3555 Website: deassociates.ca
Project Number: 23282





ISSUANCES

NO.	DATE	PARTICULAR
1	24.04.17	ISSUED FOR TENDER

REVISIONS

NO.	DATE	PARTICULAR

KEY PLAN

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22060
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

Consulting Engineers Ltd.
MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON, N2V 1Y8
Phone: 519-725-3555, Website: deassociates.ca
Project Number: 23282

J.J. JACKSON
100011324
4/17/24
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO

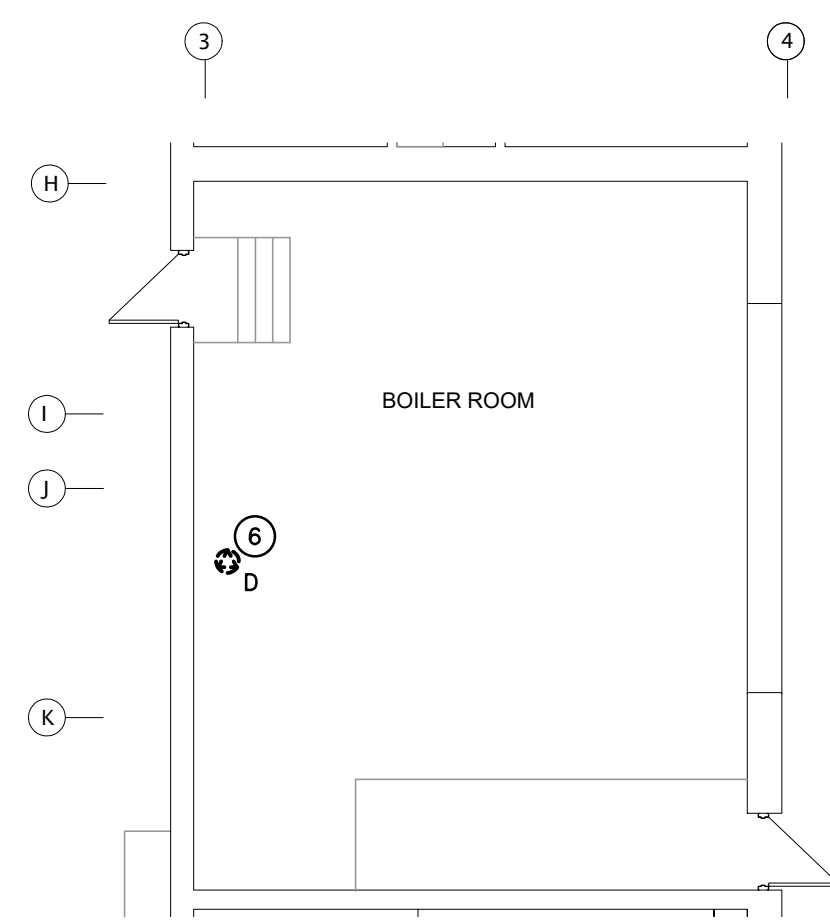
File Name: X:\2023 Projects\23282 WRDSB Margaret Ave. PS Renovations, Kitchener\02 Drawings\03 Elec\23282 - E1.0 Site.dwg
Plot Date: Apr 17, 2024, 2:31 pm By: J. Graham

DEI

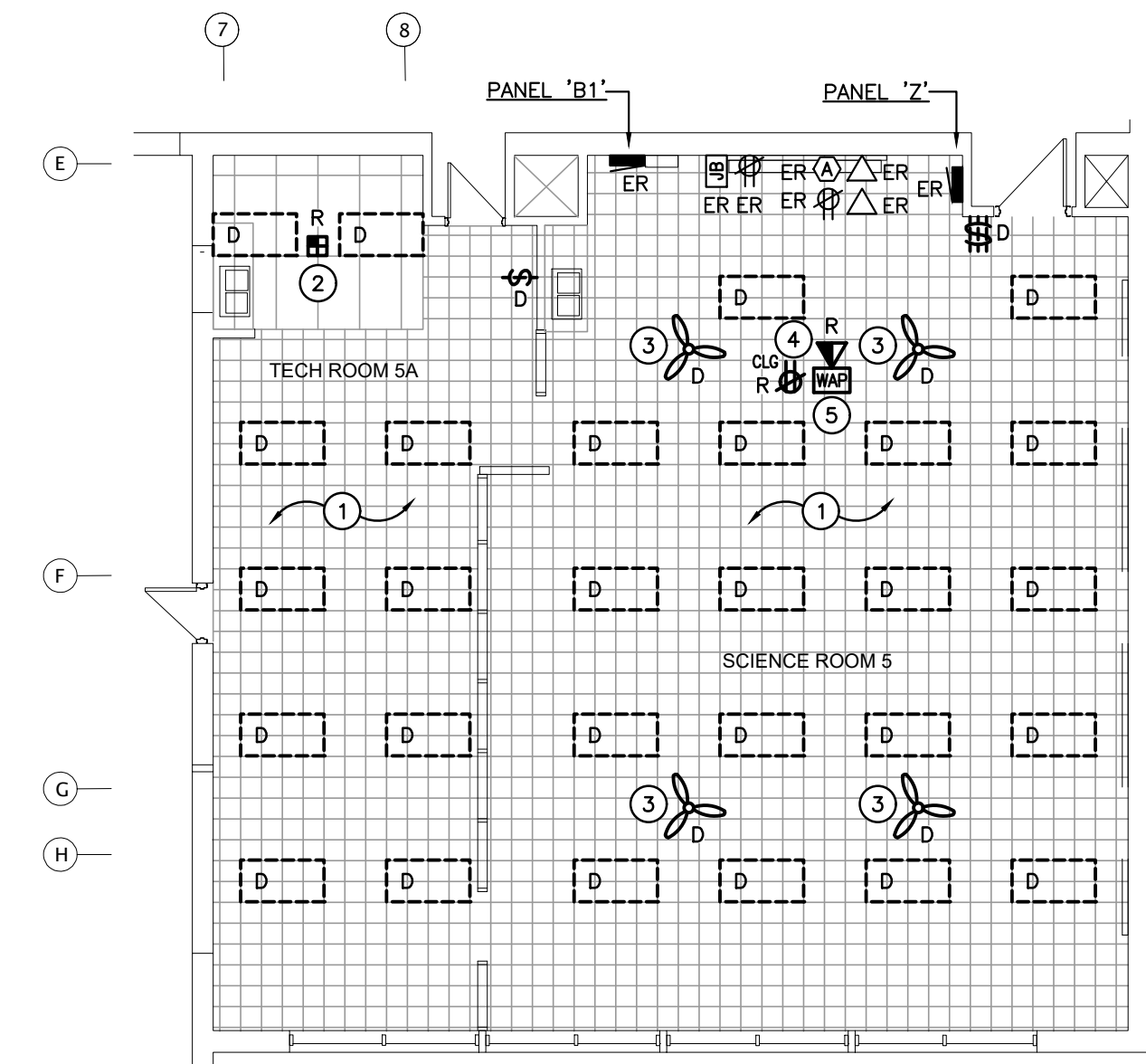
E1.2

DRAWN BY: JAG CHECKED BY: AS

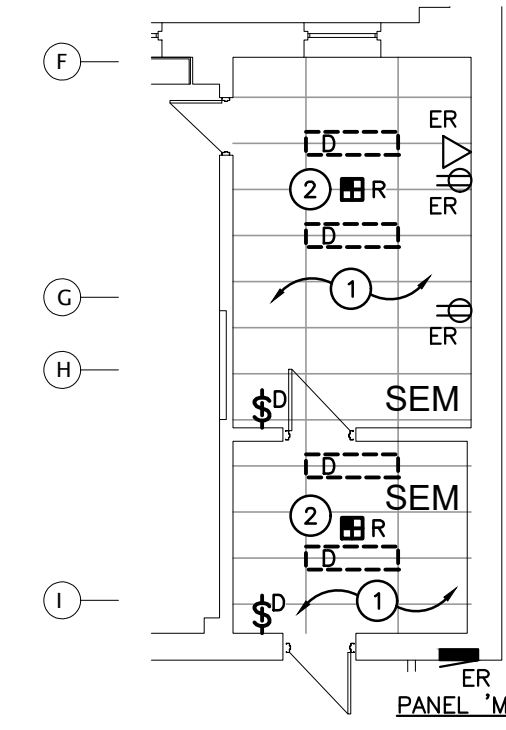
The location of the electrical equipment shown on this drawing is based on information provided by the client. It is the responsibility of the client to verify the location and condition of all electrical equipment. The drawings are not to be used for construction without the approval of the design engineer. All dimensions are in millimeters unless otherwise specified. © 2024 DEI Consulting Engineers



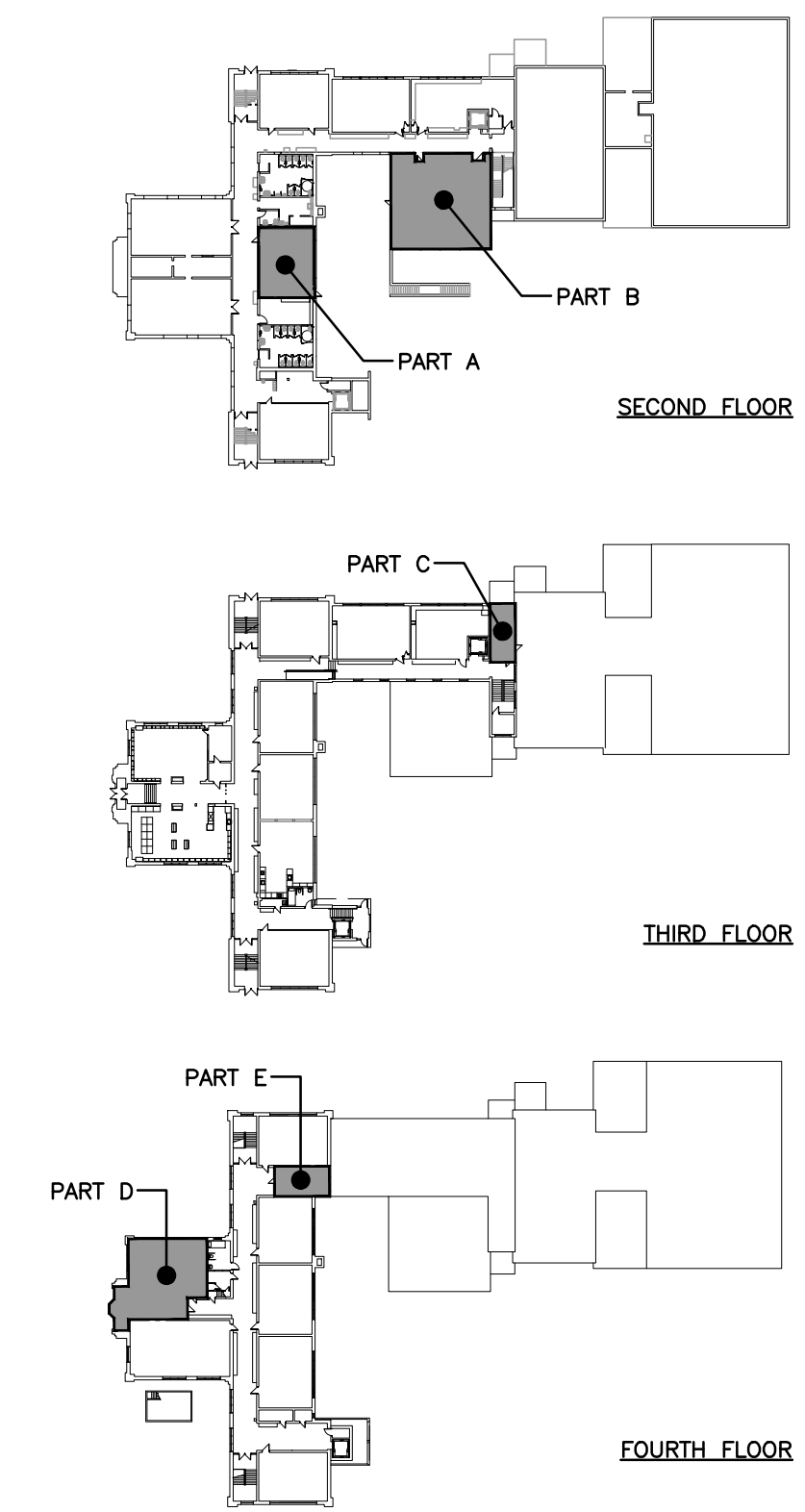
SECOND FLOOR
DEMOLITION PLAN - PART A
SCALE: 1:100



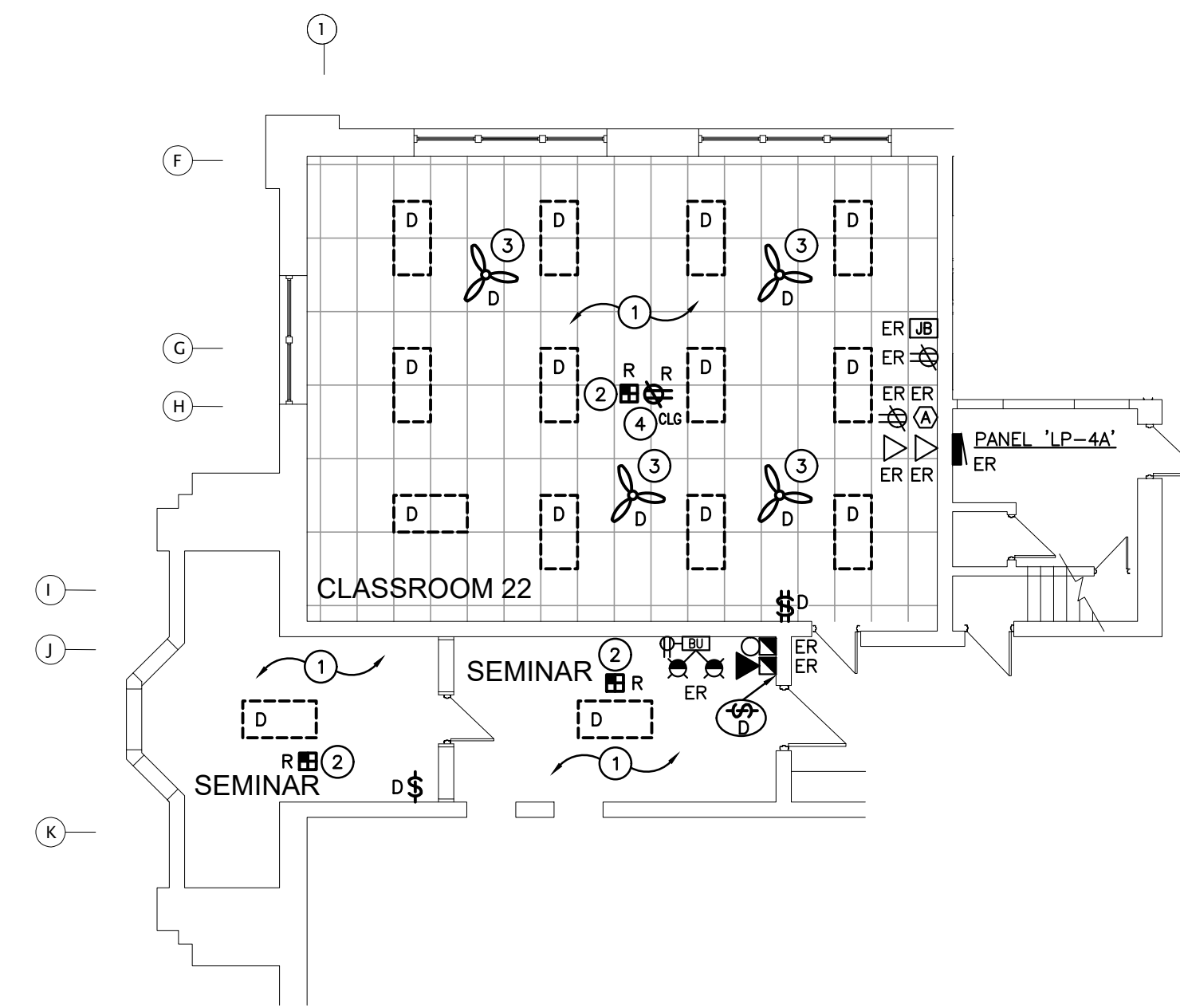
SECOND FLOOR DEMOLITION PLAN - PART B
SCALE: 1:100



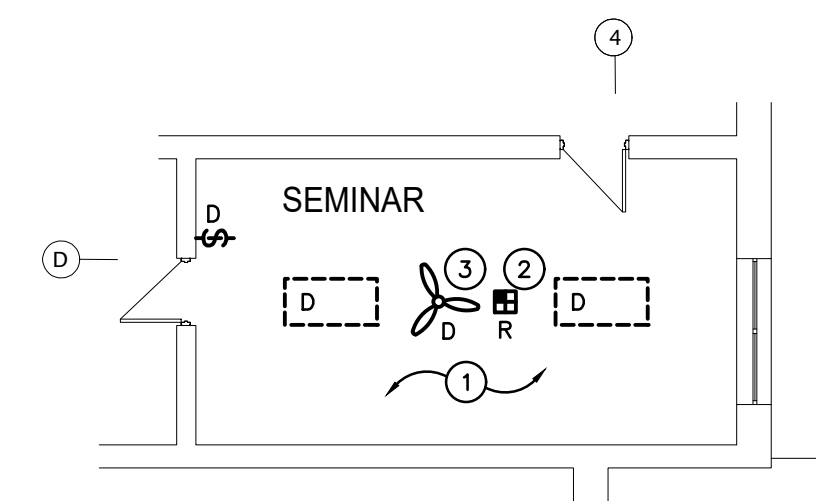
THIRD FLOOR DEMOLITION PLAN - PART C
SCALE: 1:100



KEY PLAN
SCALE: NTS



FOURTH FLOOR DEMOLITION PLAN - PART D
SCALE: 1:100



FOURTH FLOOR DEMOLITION PLAN - PART E
SCALE: 1:100

GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
- ALL LIGHTING FIXTURES BEING RELOCATED SHALL BE CLEANED AND CHECKED PRIOR TO BEING REINSTALLED.

SPECIFIC DEMOLITION NOTES

- 1 REMOVE EXISTING LIGHTING FIXTURE AND CONTROLS. MAINTAIN EXISTING WIRING AND CIRCUIT FOR NEW LIGHTING FIXTURES AND CONTROLS. REFER TO RENOVATION PLAN FOR MORE INFORMATION.
- 2 MAINTAIN EXISTING FIRE ALARM INITIATING LOOP TO RECONNECT TO RELOCATED FIRE ALARM INITIATING DEVICE AS SHOWN ON RENOVATION PLANS.
- 3 REMOVE EXISTING CEILING FANS COMPLETE WITH ALL WIRING BACK TO SOURCE PANEL. HANDOVER CEILING FANS TO SCHOOLBOARD REPRESENTATIVE.
- 4 MAINTAIN EXISTING DEVICE AND ASSOCIATED WIRING FOR RELOCATION AS SHOWN ON RENOVATION PLAN.
- 5 MAINTAIN EXISTING DEVICE AND DATA CABLING COILED IN CEILING SPACE TO RE-USE IN RENOVATION PLAN.
- 6 INDICATED CONNECTION TO COMPRESSOR TO BE DEMOLISHED COMPLETE WITH ASSOCIATED WIRING BACK TO SOURCE PANEL. RELABEL BREAKER AS SPARE.

ISSUANCES		
NO.	DATE	PARTICULAR
1	24.04.17	ISSUED FOR TENDER

REVISIONS		
NO.	DATE	PARTICULAR

KEY PLAN

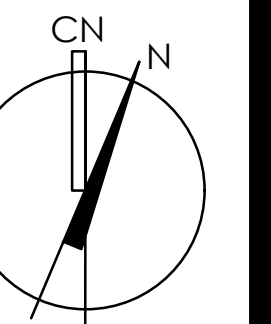
CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22060
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9

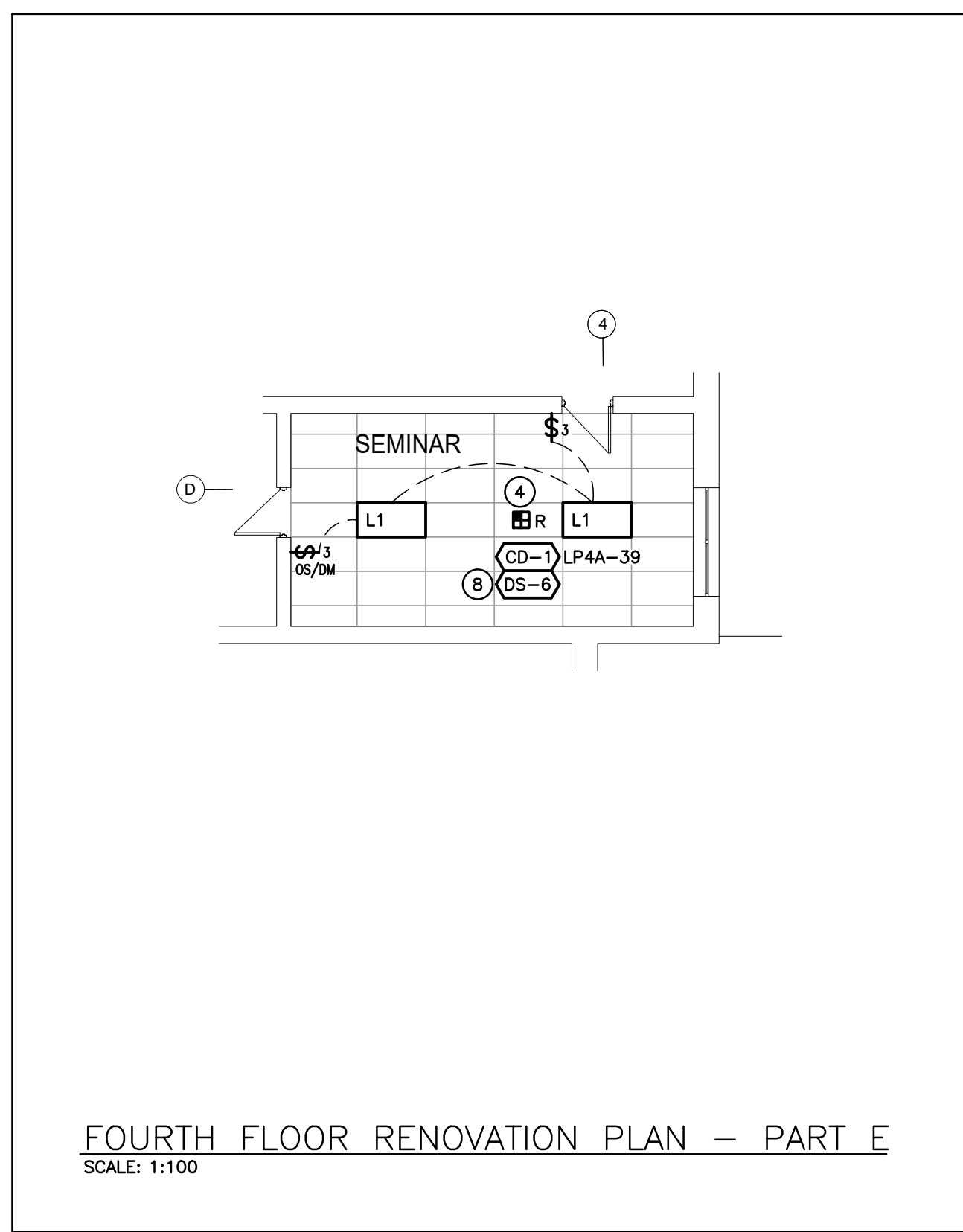
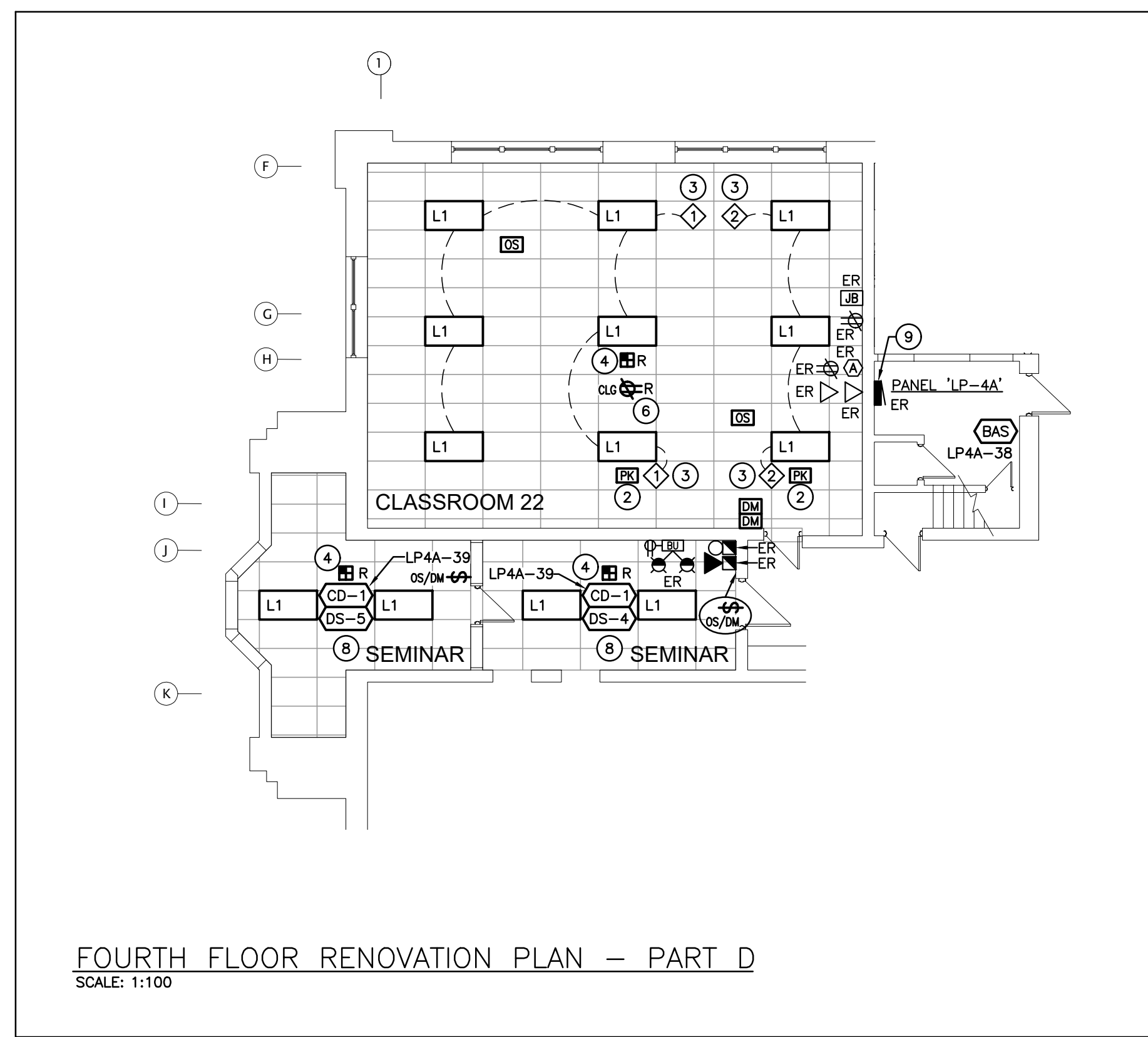
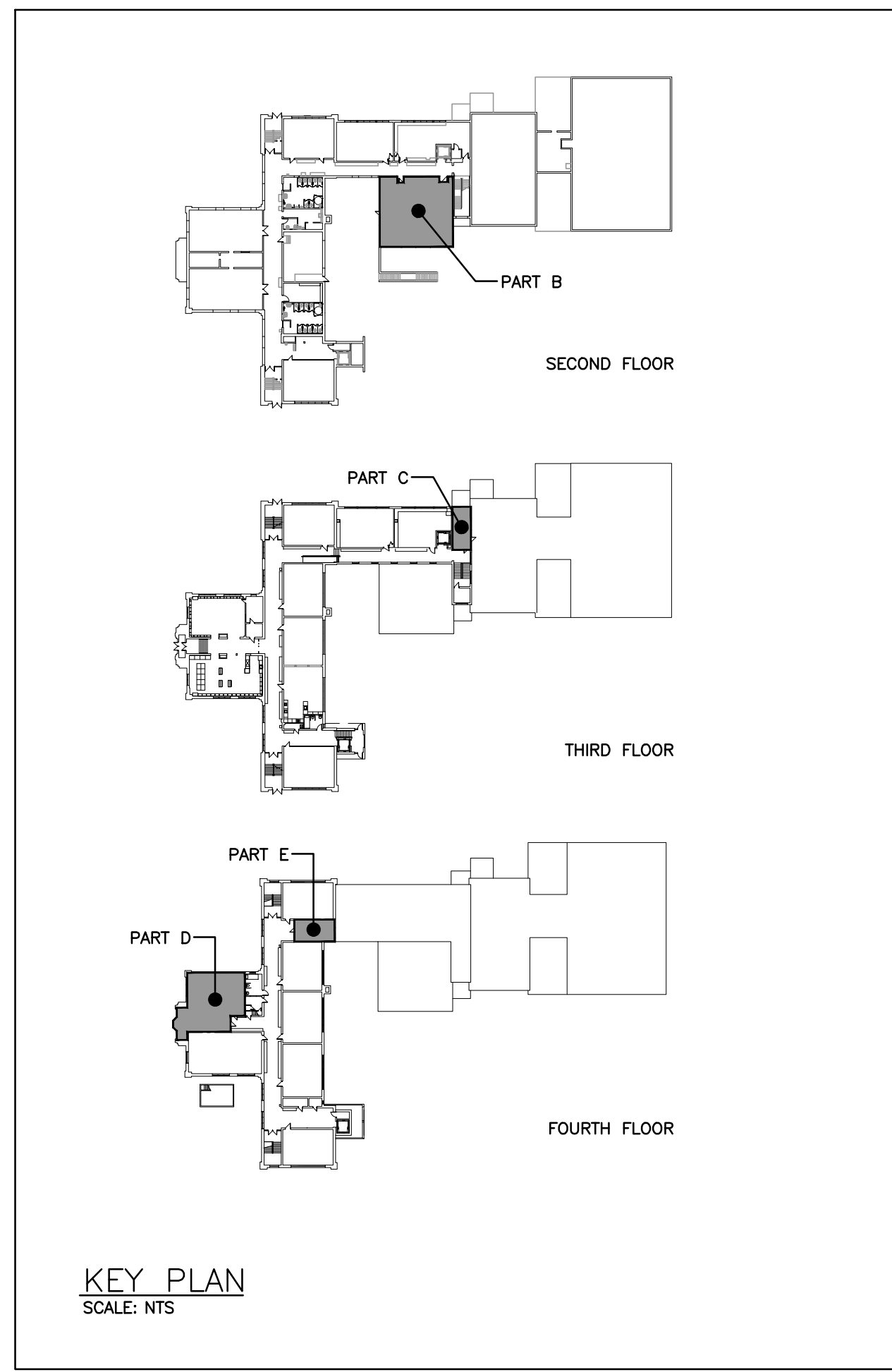
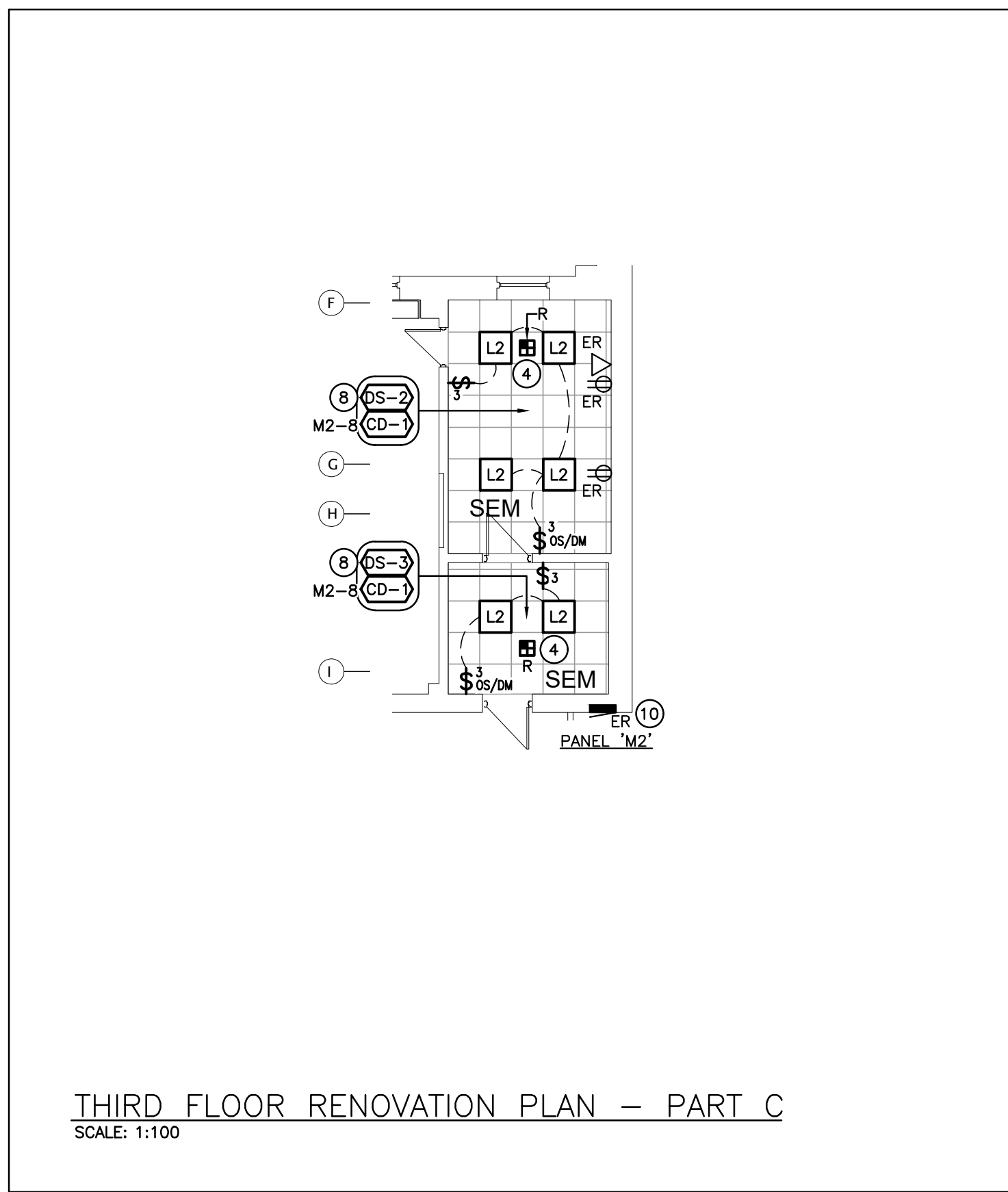
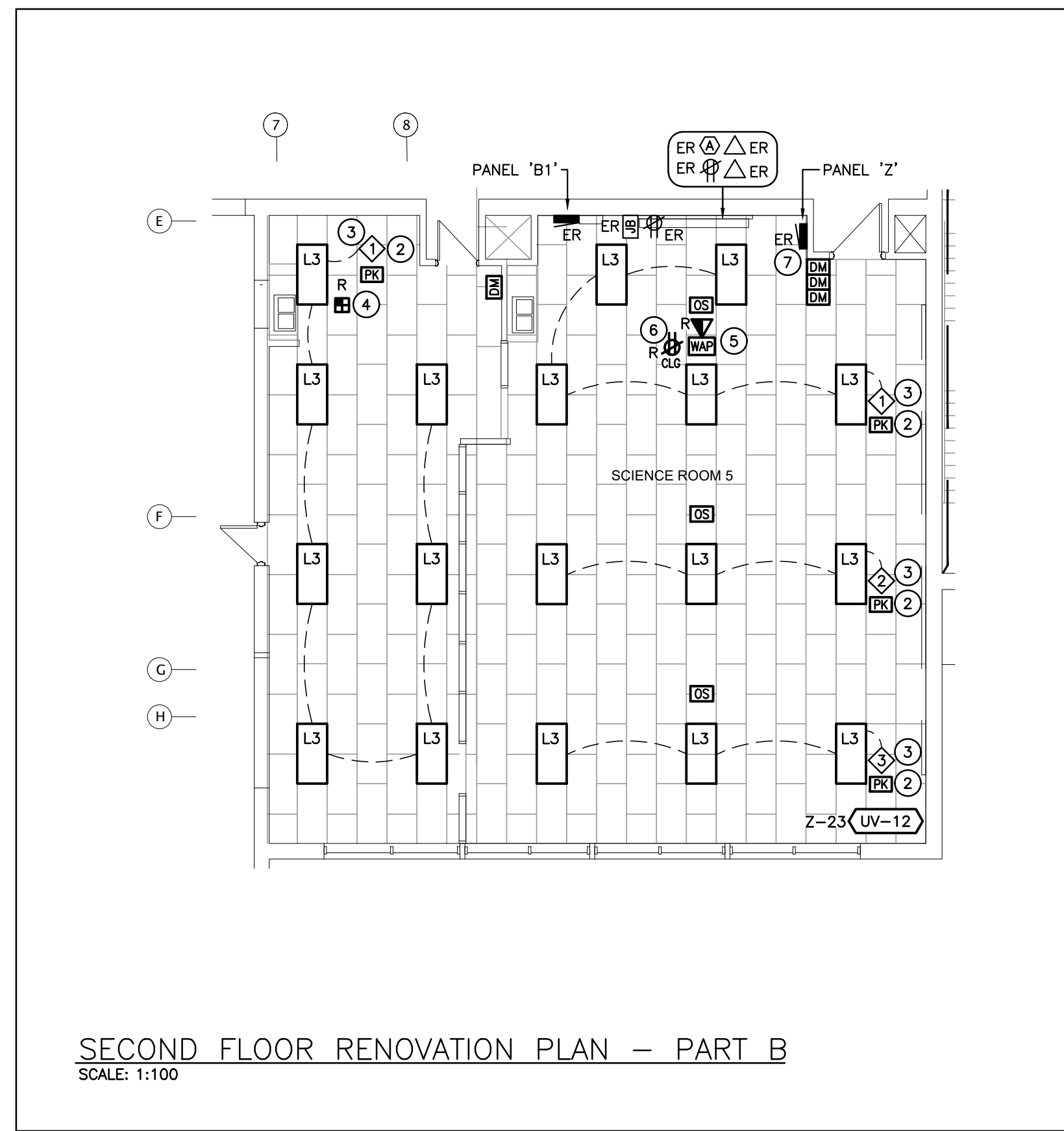
ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC
55 Northland Road, Waterloo, ON, N2V 1Y8
Phone: 519-725-3555, Website: deassociates.ca
Project Number: 23282



DEMOLITION PLANS

E2.1



GENERAL RENOVATION NOTES

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- 1 INDICATED LIGHT FIXTURES AND CONTROLS TO BE CONNECTED TO EXISTING LOCAL LIGHTING CIRCUIT.
- 2 INDICATES DIGITAL RELAY(S) WITHIN ACCESSIBLE CEILING SPACE FOR CONTROL OF NOTED OCCUPANCY SENSOR(S) TO BE CONNECTED TO EXISTING LOCAL LIGHTING CIRCUIT.
- 3 INDICATES CONTROL ZONE GROUPS OF LIGHT FIXTURES WITHIN EACH AREA. REFER TO LIGHTING CONTROL DETAILS AND SEQUENCE OF OPERATION.
- 4 INDICATED FIRE ALARM INITIATING DEVICE IS TO BE RELOCATED AS SHOWN. PROVIDE VERIFICATION OF DEVICE AS PER CAN/ULC 5537.
- 5 INDICATES EXISTING RE-USED DEVICE AND DATA DROP IN RELOCATED POSITION. RE-TEST PER SPECIFICATIONS.
- 6 INDICATES DEVICE IS TO BE RELOCATED AS SHOWN. EXTEND EXISTING WIRING AS NECESSARY.
- 7 INDICATES EXISTING PANEL 'Z' (SIEMENS ED LOADCENTRE 225A 120/240V, 3PH, 4W, 42 CIRCUIT (23 SPACES)). PROVIDE NEW BREAKERS AND FEED TO NEW LOADS AS FOLLOWS. PROVIDE NEW UPDATED TYPED WRITTEN PANEL DIRECTORY.

CIRCUIT	NEW BREAKER	FEEDER	DESCRIPTION
Z-20/22	30A-2P	2#10 T90 CU IN 21mmC	CONDENSING UNIT CU-12
Z-21	20A-1P	2#12 T90 CU IN 21mmC	ROOFTOP MAINT. REC.
Z-23	20A-1P	2#12 T90 CU IN 21mmC	UNIT VENTILATOR UV-12
- 8 INDICATED MECHANICAL EQUIPMENT IS TO BE POWERED FROM ASSOCIATED OUTDOOR UNIT. REFER TO EQUIPMENT WIRING SCHEDULE AND ROOF PLAN FOR ADDITIONAL INFORMATION.
- 9 INDICATES EXISTING PANEL 'LP4-A' (SQUARE 'D' 100A 120/240V, 3PH, 4W, 42 CIRCUIT (19 SPACES)). PROVIDE NEW BREAKERS AND FEED TO NEW LOADS AS FOLLOWS. PROVIDE NEW UPDATED TYPED WRITTEN PANEL DIRECTORY.

CIRCUIT	NEW BREAKER	FEEDER	DESCRIPTION
LP4A-24/26	30A-2P	2#10 T90 CU IN 21mmC	CONDENSING UNIT CU-2
LP4A-25/27	30A-2P	2#10 T90 CU IN 21mmC	CONDENSING UNIT CU-3
LP4A-28/30	30A-2P	2#10 T90 CU IN 21mmC	CONDENSING UNIT CU-4
LP4A-29/31	30A-2P	2#10 T90 CU IN 21mmC	CONDENSING UNIT CU-5
LP4A-33/35	30A-2P	2#10 T90 CU IN 21mmC	CONDENSING UNIT CU-6
LP4A-37	20A-1P	2#12 T90 CU IN 21mmC	ROOF MAINT. REC.
LP4A-38	15A-1P	2#12 T90 CU IN 21mmC	BAS PANEL
LP4A-39	15A-1P	2#12 T90 CU IN 21mmC	CONDENSATE PUMPS CU-1
- 10 INDICATES EXISTING PANEL 'M2' (CUTLER-HAMMER PRL1 225A 120/208V, 3PH, 4W, 42 CIRCUIT (3 SPACES)). RE-USE SPARE BREAKER AND FEED TO NEW LOADS AS FOLLOWS. PROVIDE NEW UPDATED TYPED WRITTEN PANEL DIRECTORY.

CIRCUIT	SPARE BREAKER	DESCRIPTION
M2-23	15A-1P	CONDENSATE PUMPS

ISSUANCES

NO.	DATE	PARTICULAR
1	24.04.17	ISSUED FOR TENDER

REVISIONS

NO.	DATE	PARTICULAR

KEY PLAN

File name: X:\2023\PROJECTS\23282\MRD58\Margaret Ave. PS Renovations_Kitchen\02 Drawings\Elec\23282_E3.0.Remo.dwg
 Plot Date: Apr 17, 2024, 2:31 pm By: Jgraham

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELL AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22060
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

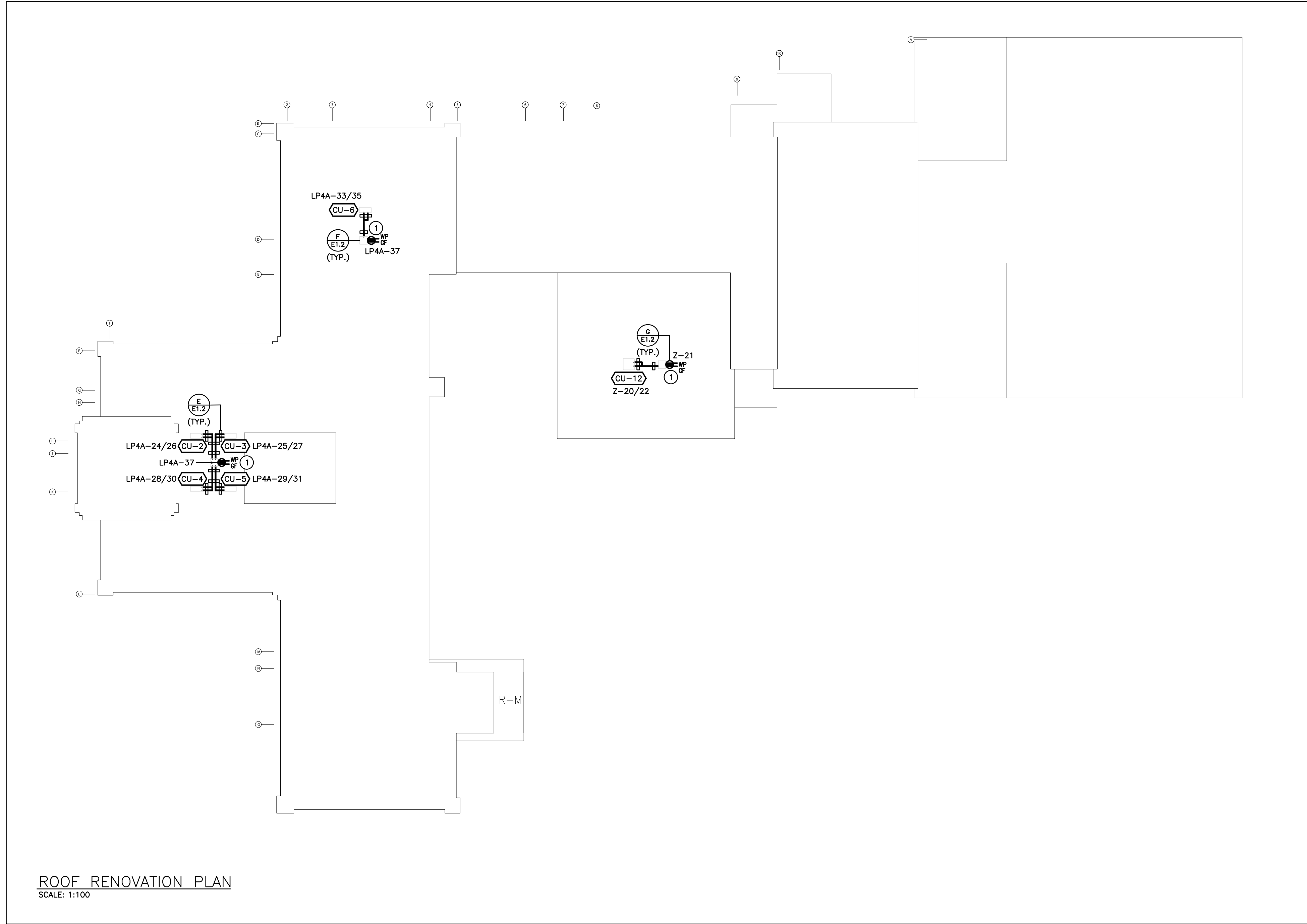
Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON, N2V 1Y8
Phone: 519-725-3555, Website: deassociates.ca
Project Number: 23282

Professional Engineer
J.J. JACKSON
10001324
4/17/24
PROVINCE OF ONTARIO

DEI

RENOVATION PLANS



ROOF RENOVATION PLAN
SCALE: 1:100

GENERAL RENOVATION NOTES

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- 1 PROVIDE T-SLOT DUPLEX GROUND FAULT PROTECTED RECEPTACLE MOUNTED TO ROOFTOP DOG HOUSE AS SHOWN. COORDINATE LOCATION WITH MECHANICAL CONTRACTOR. RECEPTACLE IS TO BE COMPLETE WITH "EXTRA DUTY" IN-USE WEATHERPROOF COVER AND IS TO BE NOT LESS THAN 750mm ABOVE FINISHED ROOF.

ISSUANCES

NO.	DATE	PARTICULAR
1	24.04.17	ISSUED FOR TENDER

REVISIONS

NO.	DATE	PARTICULAR

KEY PLAN

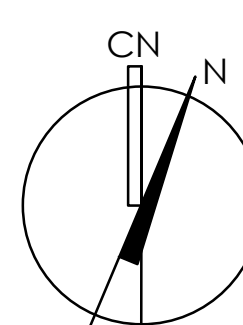
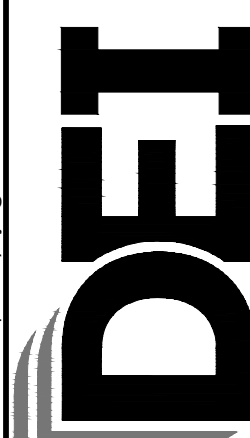
CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD
51 ARDELT AVENUE
KITCHENER, ONTARIO
N2C 2R5

PROJECT:
22060
MARGARET AVENUE PUBLIC SCHOOL RENOV.

325 Louisa Street,
KITCHENER, ON
N2H 5K9

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC
55 Northland Road, Waterloo, ON, N2V 1Y8
Phone: 519-725-3555, Website: deassociates.ca
Project Number: 23282



The contents of this drawing are the property of the consulting engineer named in the title block. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of the consulting engineer. The consulting engineer does not warrant the accuracy of the information or the results of the work shown on this drawing. The consulting engineer does not warrant the accuracy of the information or the results of the work shown on this drawing. The consulting engineer does not warrant the accuracy of the information or the results of the work shown on this drawing. The consulting engineer does not warrant the accuracy of the information or the results of the work shown on this drawing. © 2024 DEI Consulting Engineers